

**RESOLUTION OF THE MAYOR AND BOARD OF ALDERMEN
OF THE CITY OF SOUTHAVEN, MISSISSIPPI TO AMEND
THE CITY OF SOUTHAVEN CODE OF ORDINANCES,
TITLE XIII, CHAPTER 12, FOOTNOTE 43 COMMERCIAL ZONE DISTRICTS**

The Mayor and Board of Aldermen of the City of Southaven, Mississippi (the "City"), considered the matter of amending the Southaven Code of Ordinances, specifically, TITLE XIII, CHAPTER 12, FOOTNOTE 43 COMMERCIAL ZONE DISTRICTS, ("Ordinances")

Thereupon Alderman Payne offered and moved the adoption of the following resolution:

**RESOLUTION OF THE MAYOR AND BOARD OF ALDERMEN
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WHEREAS, pursuant to Miss. Code 17-1-3, the City is vested with authority of regulatory controls over zoning and land uses, and may do all things, consistent with the laws of the state, which they deem necessary to protect the health and welfare of the residents; and

WHEREAS, further pursuant to Miss. Code 17-1-3, the City is empowered to promote the health, safety, morals, or the general welfare of the City by regulating the percentage of lot that may be occupied, the density of population, and the location and use of buildings, structures and land for trade, industry, residence or other purposes; and

WHEREAS, pursuant to Miss. Code Section 17-1-9, the City's regulation as set forth in this Resolution and amended ordinance is designed to lessen congestion in the streets; to secure safety from fire, panic and other dangers; to provide adequate light and air; to prevent the overcrowding of land; to avoid undue concentration of population; and

WHEREAS, pursuant to Miss. Code 17-1-17, the City provided fifteen (15) days' notice of the hearing regarding the proposed amendment in an official paper or a paper of general circulation in Southaven, Desoto County; and

WHEREAS, the City may adopt an ordinance which seeks to regulate certain types of businesses, but does not prohibit their existence; and

WHEREAS, the City has the power and responsibility for planning and zoning in the City and to that end desires to provide clear guidelines for businesses located in the City, which shall ensure compliance with the zoning regulations of the City; and

WHEREAS, the Ordinances, as amended, provide specific guidelines for the governmental authorities, and serves the legitimate City interest for planning and zoning in the City by providing clear locations of certain type of business; and

WHEREAS, the City currently adheres and enforces regulations that allow for the review and recommendations of proposed land uses by the Planning and Development Department; and

WHEREAS, in addition, the requiring of a certain distance for barber shops, hair/beauty salons, hair studios, spa (full-service), hair braiding establishments and wigology establishments will help to avoid undue concentration of population which will ensure adequate parking in commercial areas; and

WHEREAS, the Ordinances, as amended, provide specific guidelines for the governmental authorities, and serves the legitimate City interest; and

WHEREAS, the Board authorizes the Mayor, or his designee, to sign such documents or take actions that are necessary or required for the effectuation of the amended Ordinance; and

NOW, THEREFORE BE IT ORDAINED BY THE MAYOR AND BOARD OF ALDERMEN OF THE CITY OF SOUTHAVEN, MISSISSIPPI, BY RESOLUTION OF THE MAYOR AND BOARD OF ALDERMEN OF THE CITY OF SOUTHAVEN, MISSISSIPPI TO AMEND THE CITY OF SOUTHAVEN CODE OF ORDINANCES, TITLE XIII, CHAPTER 12, FOOTNOTE 43 COMMERCIAL ZONE DISTRICTS as follows:

Footnote #43 A maximum of two (2) barber shops, hair/beauty salons, hair studios, spa (full-service), hair braiding establishments and wigology establishments may locate in the stated zones with the stated requirements so long as two existing establishments of the same classification are not currently located within a half-mile radius of the newly proposed establishment. The distance shall be determined via driving measurements on city right of way or approved and installed private drive in linear footage (1/2 mile=2,640 linear feet).

NOW, THEREFORE BE IT ORDERED that the City Clerk, pursuant to Miss. Code 21-13-11, provide notice of the adoption of the Ordinance in the Desoto Times for one (1) time.

NOW, THEREFORE BE IT FURTHER ORDERED that this Ordinance shall be in effect one month from its passage.

The foregoing Resolution was seconded by Alderman Jerome and brought to a vote as follows:

Alderman Kristian Kelly	voted: YES
Alderman Charlie Hoots	voted: YES
Alderman William Jerome	voted: YES
Alderman Joel Gallagher	voted: YES
Alderman John David Wheeler	voted: YES
Alderman Raymond Flores	voted: YES
Alderman George Payne	voted: YES

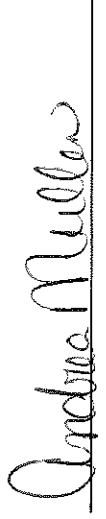
Having received a majority of affirmative votes, the Mayor declared that the Resolution was carried and adopted as set forth above on this the 22nd day of March 2022.

CITY OF SOUTHAVEN, MISSISSIPPI

BY: 

DARREN MUSSELWHITE, MAYOR

ATTEST:


CITY CLERK





MASTER SERVICES AGREEMENT

THIS MASTER SERVICES AGREEMENT (the "**Agreement**"), dated as of March 3, 2022 (the "**Effective Date**"), is entered into by and between City of Southaven MS. (the "**Client**") and [Carbonhouse LLC] DBA **CARBONHOUSE**, a Delaware Corporation ("**Carbonhouse**").

WHEREAS, Carbonhouse designs, develops and hosts websites, including for clients that require the ability to market and support ticketing demands of live music and sports events globally.

WHEREAS, Client owns and/or operates Bankplus Amphitheater where live entertainment events take place and desires to engage Carbonhouse to provide such website design, development and hosting for the <https://www.snowdengroveamp.com/> website (the "Website"), on the terms and conditions set forth herein.

NOW THEREFORE, in consideration of the foregoing and the mutual promises set forth herein and for other good and valuable consideration, the parties agree as follows:

1. Term.

The term of this Agreement will start on March 5, 2022 (the "Effective Date"), and shall continue for three (3) years thereafter, i.e. until March 5, 2025, and shall be automatically extended for successive one year periods (each, "Renewal Year") until either party provides the other party with written notice of its intention not to renew at least ninety (90) days prior to the end of the then current term.

2. Definitions. The following terms will have the defined meanings below:

(a) "**Authorized User**" means an employee of Client who has been authorized by the Client and assigned a unique username-password combination to access and use the Carbonhouse Platform.

(b) "**Carbonhouse Materials**" means any software programs, tools, utilities, technology, processes, inventions, devices, methodologies, specifications, documentation, data, databases, ideas, concepts, information, techniques or materials of any kind, including its proprietary content management system currently known as "Showtime," that are the proprietary property of Carbonhouse or provided by third parties and licensed to Carbonhouse and any of the above used or developed by Carbonhouse or its personnel in connection with providing the Carbonhouse Platform and related services, including any and all Feedback (as defined in Section 4(a)(i) herein).

(c) "**Carbonhouse Platform**" means Carbonhouse Materials and related services, as used, improved, developed or updated by Carbonhouse from time to time.

(d) "**Client Content**" means the Client website(s) files and content, including all Client Images.

(e) "**Client Group**" means Client's affiliates, subsidiaries and its related entities.

(f) "**Client Images**" means all creative, audiovisual, personal works and images, including any graphics, text, formats, characters, icons, information, data, sound recordings, and logos supplied by Client to Carbonhouse which are included in any work used in the Client website(s).

(g) "**Documentation**" means the user documentation for the Carbonhouse Platform that Carbonhouse makes generally available to users.

3. Services. Carbonhouse shall provide the following services to Client during the Term of the Agreement:

(a) Website Design and Development Services. Carbonhouse will design and develop Client's Website(s), on a schedule as mutually agreed by the Parties. The design and development of Website(s) will involve the following phases:

i. Design Phase - Client will provide design recommendations via online form. Upon receipt, carbonhouse will provide design utilizing Carbonhouse Essentials. Carbonhouse will provide one design with two iterations for the client review. Client will select a single design. Any changes to design, client will be billed at a per hour basis for updates to the design.

ii. Development Phase - In the development phase, Carbonhouse will construct the Website(s) for the Client.

HTML production - Following the approval of the design layouts, Carbonhouse will proceed to the programming stage. The programming languages Carbonhouse will utilize may include, but shall not be limited to, HTML, CSS or Javascript in order to convert the layouts to fully functioning pages on the web.

Showtime CMS - Showtime CMS Content Management System ("CMS") is a Carbonhouse exclusive content management system. As part of the development phase, Carbonhouse will implement Showtime CMS for the website(s) to be developed by Carbonhouse for Client. The CMS will allow Client's staff to add, edit, and delete content within the Client Website(s). This will be accomplished through a password-protected, web-browser interface.

Testing - Quality and assurances are important to Carbonhouse. As such, Carbonhouse shall undertake an extensive testing checklist prior to launch of the Client website(s). The Client website(s) will be tested for web browser compatibility with the following current dominant web browsers:

- Microsoft Edge latest version
- Google Chrome latest version
- Safari iOS – latest version (iPhone Vertical and iPad Horizontal)
- Android Chrome – latest version

iii. Deployment - In the deployment phase, Carbonhouse will provide the following to Client:

Training - After Client has provided its acceptance of the Website(s), Carbonhouse will begin training of Client Group's (as defined herein) personnel to ensure that they are proficient in updating content on the Website(s).

Roll-out - Upon completion of training, Carbonhouse will move the files to a permanent secure hosting location in preparation for the Client website launch. Once this is accomplished, the Client website(s) is launched.

The Website(s) will include functionality outlined in the *Web Design & Development Proposal* dated February 1, 2022 and attached hereto as Exhibit B, including the following add-on items approved by Client: Essentials Hybrid website, Google Custom Search

(b) Website Hosting Services. Carbonhouse shall provide storage space for Website(s) on a secure web server and provide telecommunications for unlimited GB of data transfer (for Client and its customers) per month for the storage, publication, display and management of the Client Content and Client website(s) on the internet, in accordance with the terms and conditions hereof. Continued use of the CMS by Client is included as part of the website hosting services. Carbonhouse will perform nightly incremental backup of files. Carbonhouse will follow its internal archival procedures for Client Data. In the event of any loss or corruption of Client Data, Carbonhouse will use commercially reasonable efforts to

restore the lost or corrupted Client Data from the latest backup of such Client Data maintained by Carbonhouse.

(c) Website Support Services. Carbonhouse shall, at no additional charge to Client, provide Client unlimited training and technical support relating to the use of the Carbonhouse Platform for creating and maintaining the Website(s). This shall include answering questions about and offering advice on the specific use of the Carbonhouse Platform, but shall not include questions or advice relating to instructional design issues. Carbonhouse may provide minor or nominal update, maintenance and administrative services for no additional charge.

(i) At the Client's request, Carbonhouse shall provide more extensive update, maintenance and administrative services; fees for such services shall be at then current standard rate card. Requests for more extensive update, maintenance and administrative services, including the schedule and fees for such services, will be as mutually agreed.

(ii) When reported by the Client, Carbonhouse agrees to investigate defects in the Carbonhouse Platform and Website(s) that prevent its proper performance (the "Deficiencies") and to exercise its reasonable best efforts to complete the corrective action, if any, which Carbonhouse and the Client mutually agree to be reasonable and appropriate as soon as possible, including but not limited to temporary fixes, patches and corrective releases supplied to Carbonhouse's clients generally. All service requests will be provided and responded to consistent with those detailed in Section 15, herein.

4. Payment & Late Fees.

Client agrees to pay Carbonhouse the fees set forth in Exhibit A. Carbonhouse will issue Client an invoice at the end of each month during the License Period and, unless otherwise set forth in the Schedule, fees are payable and due within forty five (45) days after the date of invoice. All stated fees are exclusive of taxes or duties of any kind. Client will be responsible for, and will promptly pay, all taxes and duties of any kind (including but not limited to sales, use and withholding taxes) associated with this Agreement or Client's use of the Carbonhouse Platform, except for taxes based on Carbonhouse's net income. If Carbonhouse is required to collect any tax for which Client is responsible, Client agrees to pay such tax directly to Carbonhouse. All past due amounts will incur interest at a rate of 1.5% per month or the maximum rate permitted by law, whichever is less.

5. Client's Responsibilities.

(a) Client Content. Client shall have sole control and ownership over the Client Content, including Client Images. Carbonhouse shall not modify or supplement any Client Content (other than modifications strictly necessary to upload the Client Content to the Website(s)) or the Website(s) that has been accepted by Client, except with Client's prior written consent. Carbonhouse shall also permit Client to electronically transmit or upload Client Content directly to the Website(s). Client shall have sole responsibility for all content in its web pages supplied by Client and for all information or data disseminated thereby. Client accepts final responsibility for the selection and use of all Client Images. Client hereby grants to Carbonhouse a non-exclusive, worldwide license to use, reproduce and transfer the Client Image solely in connection with the services and Client's use of the Carbonhouse Platform and Carbonhouse's provision of the Carbonhouse Platform to Client. Client represents and warrants to Carbonhouse that Client has all rights in the Client Image necessary and sufficient to transmit to, upload to, transfer to, process on, store in, or cause to interface with, Client's Account or the Carbonhouse Platform, and to grant the rights contemplated by this Agreement, including from any third party or person featured in the Client Image.

(b) Website Materials & Disclaimers. Client is responsible for all disclaimers on the Website(s), which may include (without limitation) copyright notices, trademark notices, content disclaimer and limitation of liability, statement of policy regarding permitted uses, instructions for contacting Client if additional use is sought, policies regarding collection and use of personal information, privacy policies, terms and conditions, and, if Client offers goods or services for sale, warranty disclaimers.

(c) Use of Carbonhouse Platform. Client shall be solely responsible for all claims, losses or damage caused by or arising from Client's use of the Carbonhouse Platform, including any output and/or results obtained from the use thereof and for conclusions drawn from such use.

(d) Data. Client owns all Client Data and consents to Carbonhouse's access, collection, transmission, storage, copying, processing, analysis and use of Client Data. Client is solely responsible for developing and implementing all necessary data policies, including those necessary to comply with all laws and regulations.

(e) Data Privacy, Accessibility and Other Laws. Client is solely responsible for ensuring it is compliant with all laws, rules, regulations, and otherwise meeting industry standards and best practices related to its business, including, without limitation, with respect to privacy, use of consumer data, and the protection of and accessibility for disabled consumers, including as it relates to access both in venue and to the Website(s) (for example, ensuring compliance with Web Content Accessibility Guidelines promoted by the World Wide Web Consortium/www.w3c.org).

6. Carbonhouse Responsibilities.

(a) Maintenance and Support. Except as otherwise agreed in writing by the Parties, the Website(s) shall be accessible to Internet users twenty-four (24) hours per day, seven (7) days per week, with the sole exception of scheduled maintenance periods, which shall last no longer than a total of one (1) cumulative hour per calendar month and shall be performed only upon Client's advance written approval which approval shall not be unreasonably withheld and which shall take place between the hours of 3 a.m. and 4 a.m. Eastern Standard Time. Carbonhouse will notify Client at least twenty-four (24) hours in advance of any such scheduled maintenance. Scheduled maintenance will not be deemed to be a failure to provide services in accordance with this Agreement.

(b) Response and Investigation. Carbonhouse shall respond to inquiries to investigate within 24 hours. Inquiries to Carbonhouse to investigate urgent issues will be responded to within two (2) hours. If reported Deficiencies result from: (i) malfunctions of Client equipment or software, (ii) improper Client operator procedure or misuse of the Carbonhouse Platform by Client, (iii) modifications or changes made to the Carbonhouse Platform without Carbonhouse's prior written approval, or (iv) Client developed features, then (a) the Carbonhouse shall not be deemed to be in breach of the Agreement and (b) Carbonhouse shall use commercially reasonable efforts to correct the Deficiencies as an additional service at the Client's expense at Carbonhouse's then-standard rates for such services.

(c) Insurance. During the Term of this Agreement, Carbonhouse shall maintain, at its expense, a policy or policies of insurance for industry standard coverages. All insurance policies shall be issued by an insurer rated by A.M. Best Co. as A-VIII or higher. Carbonhouse shall provide proof of such insurance to Client upon request and shall name Client as an additional insured for the Term hereof, when appropriate and necessary.

7. Client Assumption of Risk.

Client acknowledges and agrees that, despite Carbonhouse's best efforts, circumstances beyond Carbonhouse's control may cause disruption in the Services provided by Carbonhouse. Client therefore acknowledges and agrees that Carbonhouse shall not be liable to the Client for the following:

(a) Third Party Disruption of Client Data. Any loss, destruction, alteration, unauthorized disclosure or corruption of Client Data caused by any third-party. CARBONHOUSE'S EFFORTS TO RESTORE LOST OR CORRUPTED CLIENT DATA PURSUANT TO THIS SECTION 7 SHALL CONSTITUTE CARBONHOUSE'S SOLE LIABILITY AND CLIENT'S SOLE AND EXCLUSIVE REMEDY IN THE EVENT OF ANY LOSS OR CORRUPTION OF CLIENT DATA.

(b) Force Majeure. Any harm, liability or damage caused by a Force Majeure condition (including, but not limited to, fire, accident, acts of God, severe weather conditions, power outages, telecommunications interruption, strikes or labor disputes, war or other violence, or any law, order, proclamation, regulation, ordinance, demand or requirement of a government agency).

8. **Ownership & Use of Platform.**

(a) **Ownership.** Carbonhouse and its licensors reserve sole and exclusive ownership of the Carbonhouse Platform, and all copyrights, patents, trademarks, and other intellectual property rights therein. The parties acknowledge and agree that the Carbonhouse Platform does not include Client Content. Client may not remove, alter, or obscure any copyright, trademark, or other proprietary rights notices appearing on the Carbonhouse Platform. If Client provides Carbonhouse with any suggestions, comments, or other feedback regarding the Carbonhouse Platform ("*Feedback*"), *Client acknowledges that such Feedback will become the exclusive property of Carbonhouse, and Carbonhouse may use (or not use) any such Feedback in any manner and for any purpose, without compensation to Client and without implying or creating any interest on Client's part in any of Carbonhouse's products or services that may be based on such Feedback.* Client hereby irrevocably assigns and agrees to assign to Carbonhouse all right, title, and interest in any Feedback Client provides.

(b) **License.** Subject to the terms and conditions of this Agreement, and solely for Client's and the Client Group's business purposes and not for resale or distribution to third parties, Carbonhouse grants the Client Group a limited, non-exclusive, non-transferable, revocable license during the License Period to access and use the Carbonhouse Platform via Carbonhouse's cloud-based services (subject to Client's having a valid Account as described in Section 11(b) below), solely to execute, publish, display, transmit, manage the Client website(s) on the World Wide Web, in accordance with the terms and conditions of this Agreement. Other than as provided herein, the Client shall have no other rights, whatsoever, with respect to its use of the Carbonhouse Platform. Therefore, without the express written permission of Carbonhouse, Client shall have no right to the use of or license in the Carbonhouse Platform upon replacement or redesign of the Client website(s) with the design, content, programming or website architecture developed, produced or created by anyone other than Carbonhouse or to the use of the Carbonhouse Platform for any purpose other than as expressly set forth in this Agreement. Under no circumstances may the Client duplicate, distribute or sell the Carbonhouse. Client shall not permit any third party other than the Client Group to use the Carbonhouse Platform or any part thereof, except as may be required for a third party to access, support, and use the Website(s). Client's rights in the Carbonhouse Platform will be limited to those expressly granted in this Agreement. Carbonhouse and its licensors reserve all rights and licenses in and to the Carbonhouse Platform not expressly granted to Client under this Agreement.

9. **Compliance with Laws.**

Each Party will comply with all laws, rules, regulations, and industry standards and best practices ("Laws") applicable to such Party and its business in any country in which they do business under this Agreement, including but not limited to such Laws as may relate to collection, use, or storage of data. By way of example and not limitation, Client shall be responsible to ensure its compliance with all Laws related to the protection of and accessibility for disabled consumers, including as it relates to access both to its venues and events and to the Website(s) (for example, ensuring compliance with Web Content Accessibility Guidelines promoted by the World Wide Web Consortium/www.w3c.org).

10. **Confidential Information.**

The parties agree that they will not disclose any Confidential Information to any unauthorized third party and will not use the other party's Confidential Information for any purpose other than for the performance of the rights and obligations hereunder during the term of this Agreement without the prior written consent of the other party. The parties further agree that Confidential Information shall remain the sole property of the other party and that they will take all reasonable precautions to prevent any unauthorized disclosure of Confidential Information by their employees. No license shall be granted by one party to the other with respect to Confidential Information disclosed hereunder unless otherwise expressly provided herein. Upon the request of either party, the other party will promptly return all Confidential Information furnished hereunder and all copies thereof. "Confidential Information" shall include any program, licenses and all other information that would reasonably be considered confidential, whether or not marked as confidential, including but not limited to information relating to a party's technology, finances, customer information, trade secrets, know-how, employees, customers, website visitors, organization, activities,

policies, written reports, findings, conclusions, recommendations, or reporting data and analysis or products or other confidential information disclosed hereunder in writing, orally, or by drawing or other form. Notwithstanding the foregoing, Confidential Information shall not include information which: (i) is known to the receiving party at the time of disclosure; (ii) is or become publicly known through no wrongful act of the receiving party; (iii) is rightfully received from a third party without restriction on disclosure; (iv) is independently developed by the receiving party; (v) is furnished to any third party by the disclosing party without restriction on its disclosure; (vi) is approved for release upon a prior written consent of the disclosing party; or (vii) is disclosed pursuant to judicial order, requirement of a governmental agency or by operation of law.

11.

Trade Secrets: Acknowledgement and Protection.

(a) Acknowledgement. Client acknowledges that the Carbonhouse Platform contains trade secrets of Carbonhouse and its licensors, and, in order to protect such trade secrets and other interests that Carbonhouse and its licensors may have in the Carbonhouse Platform, Client may not, and Client agrees not to, reverse engineer, decompile or disassemble the Carbonhouse Platform or any portion thereof, or otherwise attempt to create or derive the source code. In addition, Client may not, and Client agrees not to: (i) sell or sublicense the Carbonhouse Platform; (ii) modify the Carbonhouse Platform; (iii) distribute or copy the Carbonhouse Platform in whole or in part; (iv) use the Carbonhouse Platform in any unlawful manner, for any unlawful purpose, or in any manner inconsistent with this Agreement or Carbonhouse's applicable documentation; (v) access or use any areas of the Carbonhouse Platform for which Carbonhouse has not granted Client authorization, or tamper or interfere with Carbonhouse's computer systems or the technical delivery systems of Carbonhouse's providers; or (vi) encourage, authorize, or enable anyone to do any of the foregoing.

(b) Account Protection. In order to access and use the Carbonhouse Platform without making vulnerable the trade secrets contained therein, Client will need to register and create an account ("Account"). Client agrees to provide accurate, current and complete information about the Client Account, which includes all individual Authorized User Accounts. Carbonhouse reserves the right to suspend or terminate the Client Account or any individual Authorized User's Account, if any information provided during the registration process or thereafter is or becomes inaccurate, false or misleading. Client is responsible for maintaining the confidentiality of Client's passwords and Account, including all user names and passwords information assigned to its Authorized Users, and agrees to notify Carbonhouse if any of the passwords is lost, stolen, or disclosed to an unauthorized third-party, or otherwise may have been compromised. Client is responsible for all activities that occur under the Client Account, including the activities carried out by individual employees. Client acknowledges and agrees that Carbonhouse is not required to monitor or police communications or data transmitted through the Carbonhouse Platform and that Carbonhouse shall not be responsible for the content of any such communications or transmissions. Client shall use the Carbonhouse Platform exclusively for authorized and legal purposes, consistent with all applicable laws, regulations and the rights of others. Client shall keep confidential and not disclose to any third-parties, and shall ensure that Authorized Users keep confidential and do not disclose to any third-parties, any user identifications, account numbers or account profiles.

12.

Termination.

Either party may terminate this Agreement (i) if the other party breaches any material term of this Agreement and fails to cure such breach within thirty (30) days after receipt of a written notice thereof or (ii) upon the other party's initiation of any proceeding under applicable bankruptcy or insolvency laws which is not dismissed within thirty (30) days and such party is unable to perform its obligations under this Agreement. Carbonhouse may suspend Client's Account (including individual Authorized User's Account) and Client's use of the Carbonhouse Platform as Carbonhouse deems appropriate to prevent, investigate, or otherwise address any suspected misuse of the Carbonhouse Platform or until any past due amounts have been paid. Upon either party's request, the other party shall return to the requesting party any data, records, or other materials belonging to the requesting Party, including without limitation, all Confidential Information. Upon any termination, the Carbonhouse Platform and the Client website(s) shall be promptly returned to Carbonhouse and any Client Content shall be promptly returned to Client in a commercially standard format. Termination of this Agreement shall not limit either party from pursuing any other remedies available to it, including injunctive relief, nor shall termination relieve Client of its obligation to pay all charges that have accrued prior to such termination for the services.

13. **Disclaimers.**

(a) The Carbonhouse Platform is provided "as is," exclusive of any warranty whatsoever. Carbonhouse makes no warranty that the Carbonhouse Platform will meet Client's requirements or be available on an uninterrupted, secure, or error-free basis.

(b) Carbonhouse expressly disclaims any warranties and conditions, express or implied, including but not limited to any implied warranties and conditions of merchantability, fitness for a particular purpose, and noninfringement, and any warranties and conditions arising out of course of dealing or usage of trade. No advice or information, whether oral or written, obtained concurrently from Carbonhouse or elsewhere will create any warranty or condition not expressly stated in this agreement.

14. **Indemnity.**

(a) Client. Client will indemnify, defend and hold harmless Carbonhouse and its officers, directors, employee and agents, from and against any third-party claims, disputes, demands, liabilities, damages, losses, and costs and expenses, including, without limitation, reasonable legal and professional fees, arising out of or in any way connected with (i) Client's access to or use of the Carbonhouse Platform otherwise than in accordance with this Agreement, (ii) Client Images, (iii) Client Content, or (iv) the Client Data, provided that Carbonhouse: (a) promptly notifies Client in writing of the claim; (b) grants Client sole control of the defense and settlement of the claim; and (c) provides Client, at Client's expense, with all assistance, information and authority reasonably required for the defense and settlement of the claim.

(b) Carbonhouse. Carbonhouse will indemnify, defend and hold harmless Client and its officers, directors, employee and agents, from and against any claims, disputes, demands, liabilities, damages, losses, and costs and expenses, including, without limitation, reasonable legal and professional fees, to the extent that it is based upon a third-party claim that the Carbonhouse Platform, as provided by under this Agreement and used within the scope of this Agreement, infringes or misappropriates any intellectual property right in any jurisdiction, and will pay any costs, damages and reasonable attorneys' fees attributable to such claim that are awarded against Client, provided that Client: (i) promptly notifies Carbonhouse in writing of the claim; (ii) grants Carbonhouse sole control of the defense and settlement of the claim; and (iii) provides Carbonhouse, at Carbonhouse's expense, with all assistance, information and authority reasonably required for the defense and settlement of the claim. If use of any of the Carbonhouse Materials and/or Carbonhouse Platform is, or in Carbonhouse's reasonable opinion is likely to be, the subject of a claim specified this section, then Carbonhouse may, at its sole option and expense: (a) procure for Client the right to continue using the Carbonhouse Materials and/or Carbonhouse Platform; (b) replace or modify the Carbonhouse Materials and/or Carbonhouse Platform so that it is non-infringing while maintaining substantially equivalent in function to the original Carbonhouse Materials and/or Carbonhouse Platform; or (c) if options (a) and (b) above cannot be accomplished despite Carbonhouse's reasonable efforts, then Carbonhouse or Client may terminate this Agreement and Carbonhouse will provide pro rata refund of unused/unapplied fees paid in advance for any applicable subscription term.

(c) The provisions of this Section 14 set forth Carbonhouse's sole and exclusive obligations, and Client's sole and exclusive remedies, with respect to infringement or misappropriation of intellectual property rights of any kind.

15. **Limitation of Liability.**

Except for liability arising from a breach of Section 9 or from indemnification obligations under Section 14, either party's total liability to the other from all causes of action and under all theories of liability will be limited to an amount equal to the amounts paid to Carbonhouse by Client for the Platform in the 12 months immediately preceding the events giving rise to the liability or, in the case of Client's liability only, to an amount equal to such amounts plus all outstanding amounts then owed by Client under this Agreement.

Neither party will be liable to the other for any incidental, special, consequential or punitive damages, or for costs of substitute goods or services, or for loss of profits, data, use, goodwill, or other intangible losses, arising in any way out of this Agreement or resulting from Client's access to, use of, or inability to

access or use the Carbonhouse Platform, whether based on warranty, contract, tort (including negligence) or any other legal theory, whether or not the party has been informed of the possibility of such damage, and even if an exclusive remedy set forth herein is found to have failed of its essential purpose.

16. **Miscellaneous.**

(a) Assignment. Client may not assign this Agreement without Carbonhouse's prior written consent and any attempt to do so will be void, except that Client may assign this Agreement, without Carbonhouse's consent, to a successor or acquirer, as the case may be, in connection with the sale of all or substantially all of Client's assets. Subject to the foregoing, this Agreement will bind and benefit the Parties and their respective successors and assigns.

(b) No Election of Remedies. Except as expressly set forth in this Agreement, the exercise by either Party of any of its remedies under this Agreement will not be deemed an election of remedies and will be without prejudice to its other remedies under this Agreement or available at law or in equity or otherwise.

(c) Severability. If any provision of this Agreement is held invalid or unenforceable by a court of competent jurisdiction, the remaining provisions of this Agreement will remain in full force and effect, and the provision affected will be construed so as to be enforceable to the maximum extent permissible by law.

(d) Survivability. Rights and obligations under this Agreement which by their nature should survive (including, without limitation, obligations of confidentiality, privacy and data protection, warranties and indemnification) will remain in effect after termination or expiration of this Agreement. No termination of this Agreement will relieve the applicable party from liability arising from breach of this Agreement on or prior to the termination date.

(e) Notices. All notices required or permitted under this Agreement will be in writing, will reference this Agreement, and will be deemed given: (i) when delivered personally; (ii) one (1) business day after deposit with a nationally-recognized express courier, with written confirmation of receipt; (iii) three (3) business days after having been sent by registered or certified mail, return receipt requested, postage prepaid; or (iv) twenty-four (24) hours after having been sent via electronic mail to the identified contact person. All such notices will be sent to the addresses set forth below or to such other address as may be specified by either Party to the other Party in accordance with this Section.

If notice to carbonhouse, llc:

Carbonhouse LLC
5727 Westpark Drive, Suite 108
Charlotte, NC 28217
Attn: Brandon Lucas

If notice to [Client]:

City of Southaven MS
8710 Northwest Dr.
Southaven, MS 38671
Attn: Todd Mastry

(f) Dispute Resolution. This Agreement and any action related thereto will be governed by the laws of the State of Mississippi without regard to its conflict of laws provisions. Client and Carbonhouse irrevocably consent to the jurisdiction of, and venue in, the state or federal courts located in the State of Mississippi for any disputes arising under this Agreement.

(g) Waiver. The failure by either Party to enforce any provision of this Agreement will not constitute a waiver of future enforcement of that or any other provision. The waiver of any such right or provision will be effective only if in writing and signed by a duly authorized representative of each Party.

(h) Entire Agreement. This Agreement constitutes the complete and exclusive agreement of the Parties with respect to its subject matter and supersedes all prior understandings and agreements,

whether written or oral, with respect to its subject matter. Any waiver, modification or amendment of any provision of this Agreement will be effective only if in writing and signed by the Parties hereto.

(i) Counterparts. This Agreement may be executed in counterparts, each of which will be deemed an original, but all of which together will constitute one and the same instrument.

(k) Mississippi Governmental Entity. The Client, as a Mississippi governmental entity, is not bound to any provision of the contract which a Mississippi public entity cannot legally agree to or contract for. In executing the contract, the Client does not waive any rights it may have to object to, contest, or refuse to comply with any provision of the contract that is impermissible by operations of the laws of the State of Mississippi.

IN WITNESS WHEREOF, the parties have executed this Agreement as of the Effective Date.

Carbonhouse, LLC

Client

By: _____

By: _____

Name: Brandon Lucas

Name: Wes Brown

Title: V.P Sales & Operations

Title: Southaven Parks Director

EXHIBIT A

Carbonhouse Fees

Website Design and Development Fees.

Total website design and development fee:	\$15,000
Payment date:	Payment amount:
Project kick off:	50% of the total fee in the amount of \$7,500
Design approval:	25% of the total fee in the amount of \$3,750
Website launch:	25% of the total fee in the amount of \$3,750

Website Hosting Fee (per website hosted by the Platform)

Unlimited hosting, license and support services	\$500 per month, beginning two weeks from soft launch or live launch. Whichever sooner.
Extensive update, maintenance or administrative services	Current rate card rate which is currently \$225.00/hr.
Deficiency services	Current rate card rate which is currently \$225.00/hr.

New Features and Functionality Fee

New features and functionality	Current rate card rate which is currently \$225.00/hr.
--------------------------------	--

All Website Hosting Fees and New Feature and Functionality Fees shall increase by 5% during each Renewal Year, unless otherwise agreed to in writing by the parties.

EXHIBIT B

[Web Design and Development Proposal]

carbonhouse

WEBSITE PROPOSAL

BANKPLUS AMPHITHEATER AT
SNOWDEN GROVE

PREPARED BY

Ed Prescott

Business Development

704.333.5800 x212

eprescott@carbonhouse.com

QUOTE DATE

February 1, 2022

Quote valid for 90 days

ADDRESS

carbonhouse

5727 Westpark Drive
Suite 108

Charlotte, NC 28217

TABLE OF CONTENTS

About // History	2
Showtime // Intro	3
Showtime // Tools.....	4
Experience // Event Understanding	5
Expertise // Client SpotlightS	6
Design // Responsive	7
Showtime // Core Features.....	8
Features // Ticketing Integration.....	9
Showtime// Hosting	10
Features // Accessibility	11
Features // SEO Tools.....	12
Features // Calendars	13
Design System // Hybrid	14
Features // Advanced Search.....	15
Features // App Integration	16
Process // Timeline	17
Project // Scope	20
Appendix	21
Appendix // Technology Q & A.....	22
Appendix // Service Level Agreement.....	24

ABOUT // HISTORY

BORN INTO AN INDUSTRY

WE'VE LIVED IT. THAT'S WHAT MAKES US UNIQUE.
IT'S WHY NO ONE KNOWS EVENTS LIKE CARBONHOUSE.

Founded in 1999, carbonhouse provided design and website services across many industries. In 2005 founder James Sack joined forces with concert promoter and venue manager Brandon Lucas to focused on the niche market of the venue and live entertainment industry. Together they identified a significant need for event marketers and managers to become empowered, to manage their websites on demand to make them their greatest marketing tool.

carbonhouse events platform arrived at the 2007 Dallas Entertainment and Arena Marketing Conference with one venue client and left with two. Within the next year, the client list grew to five. Through long nights and weekends and with

dedication, loyalty, and sweat equity, carbonhouse built the tools, systems, and relationships which earned its status as an industry leader. Now, with more than 300 clients and a 99% retention rate, we're proud to share that this dedication and focus have allowed us to earn double-digit growth each year.

Today we equip our clients with scalable, secure technology and a dedicated focus on the needs of the live entertainment industry. Our team and its vision allow us to look further, continuously developing cutting-edge solutions for our clients. We're not just building beautiful websites; we're developing the systems and solutions you need, unlike anyone else.

OVERVIEW

Founded:

1999

Staff:

21

Clients:

300+



2006
First Venue
Client



2011
First
Multilingual
Site



2012
150
carbonhouse
Clients



2013
First European
Client



2014
London Office
Opens

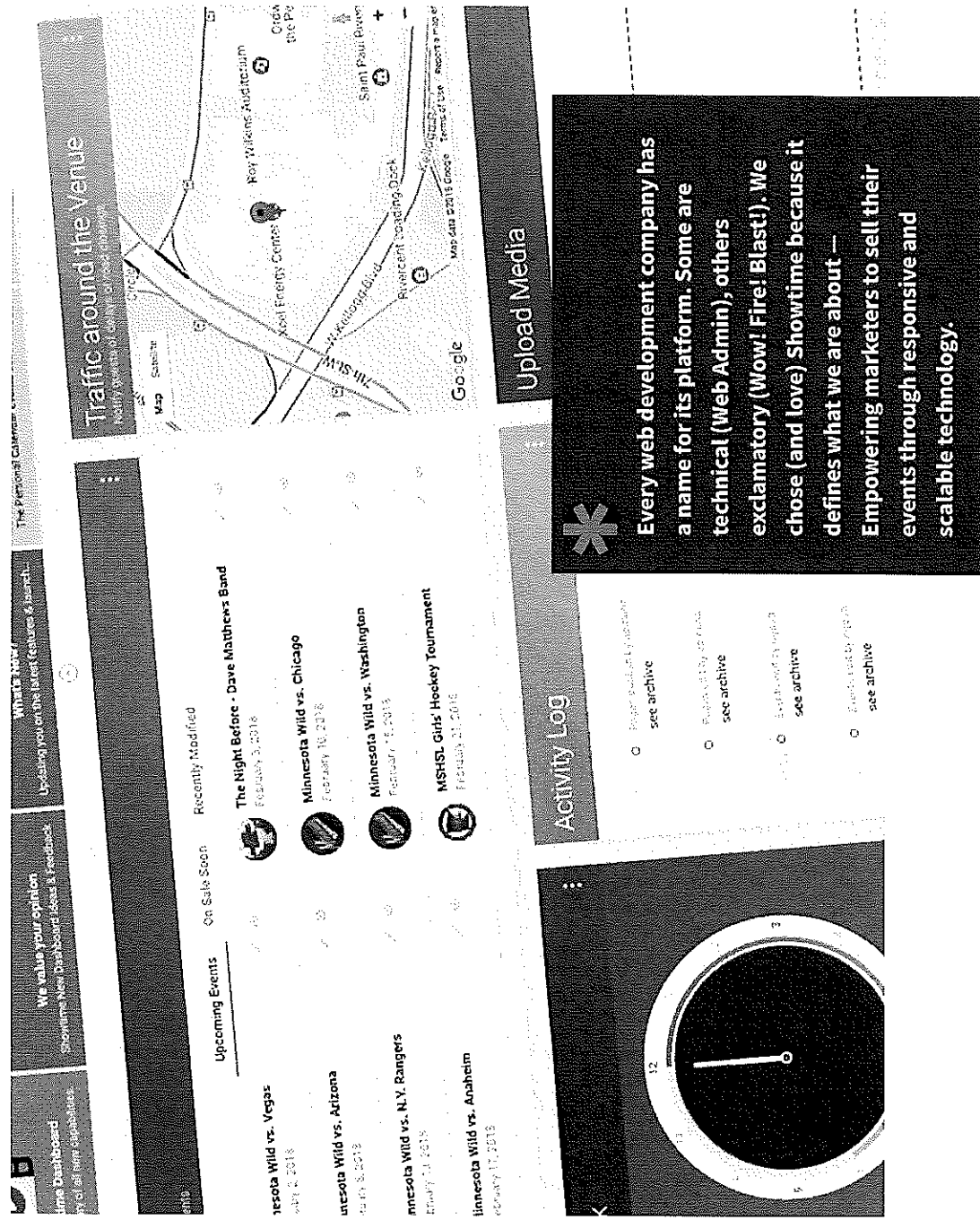
SHOWTIME // INTRO

SHOWTIME*

POWERFUL CUSTOMIZED WEBSITE DASHBOARD AT YOUR FINGERTIPS—LIKE NO OTHER.

The Showtime Content Management System, with its fully-customizable dashboard, can be accessed anywhere, anytime, from any device. It is the all-encompassing event-marketing platform, built specifically, from the ground up for the venue and live entertainment industry.

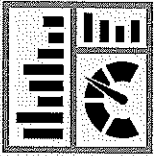
Showtime makes it easy to not only create, view, and manage upcoming events, but also to follow every aspect of your website. Have historical and real-time analytics, recent site activity, and venue traffic monitoring at your fingertips on a dashboard wholly customized for and by you.



Every web development company has a name for its platform. Some are technical (Web Admin), others exclamatory (Wow! Fire! Blast!). We chose (and love) Showtime because it defines what we are about — Empowering marketers to sell their events through responsive and scalable technology.

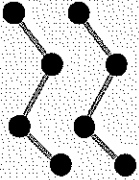
SHOWTIME // TOOLS

SHOWTIME TOOLS



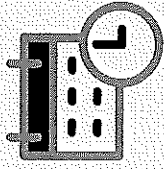
CUSTOMIZED DASHBOARD

Each admin user has individual needs, and your experience should be tailored to meet them. Build your unique showtime dashboard with our many widget-based resources.



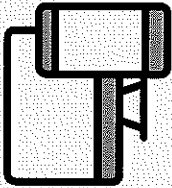
ANALYTICS

Showtime offers historical and real-time analytics to give you insight into your web-traffic sources and ticket buyers.



SCHEDULING

Manage Event Announcements, On-Sales, Event End Dates, Promotions, Contests and more through the integrated Showtime scheduling software.



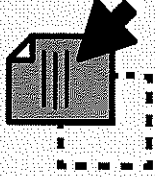
FLEXIBLE VIEWS

We built Showtime with mobile in mind. Content can be managed anywhere, on any device, with a responsive interface.



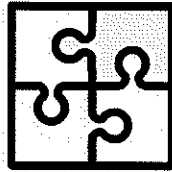
USER MANAGEMENT

Showtime lets you manage admin access to your Box Office, Sponsorship and Group Sales teams with ease.



DRAG & DROP

Powerful technology shouldn't be complicated to use. Showtime page content can be changed with simple drag-and-drop capabilities.



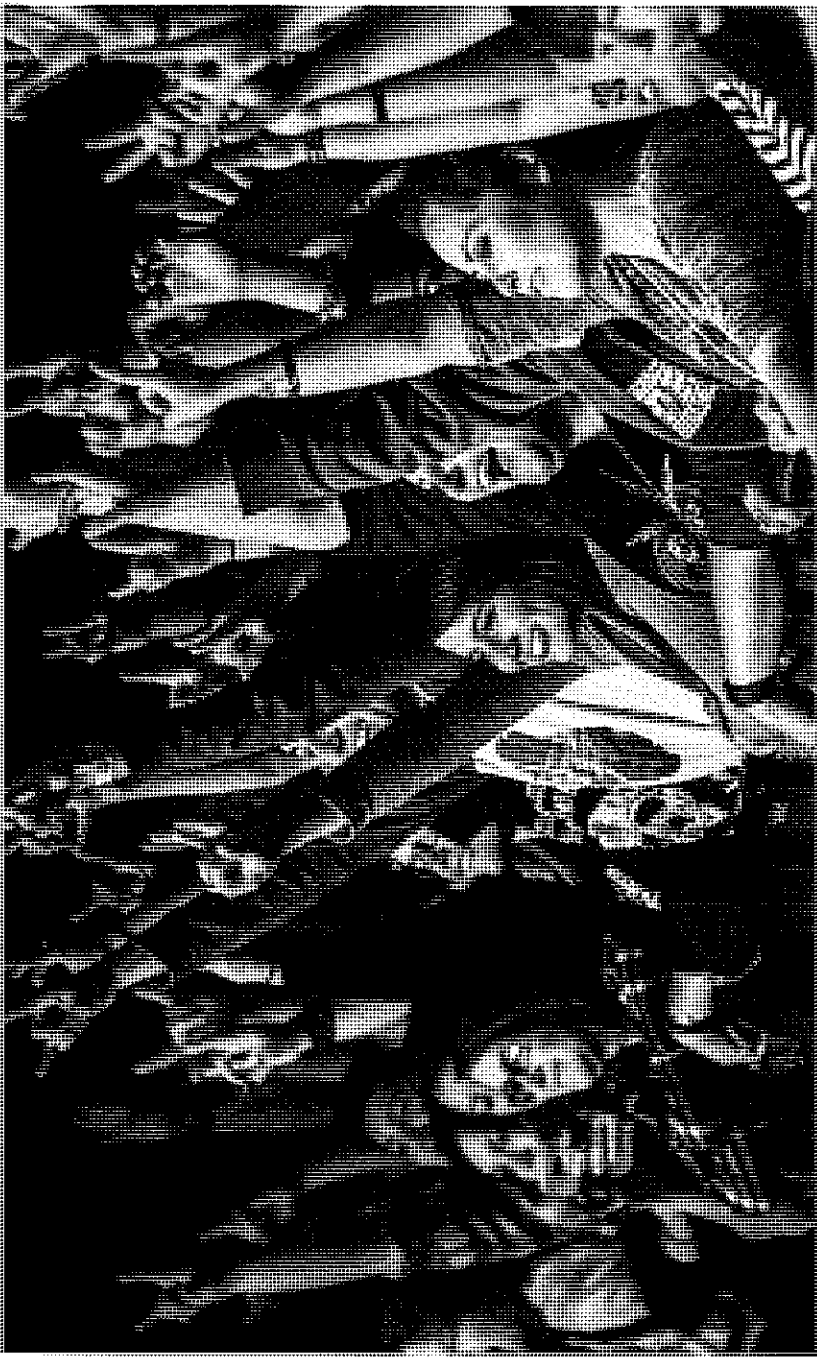
PARTNERSHIPS

Our industry experience, leadership and technology allows Showtime to integrate with the leading ticketing companies, mobile app firms, and web-security partners across the globe.

EXPERIENCE // EVENT UNDERSTANDING

IT'S IN OUR DNA

UNDERSTANDING EVENTS IS THE FOUNDATION OF WHAT WE DO.



Our Showtime CMS is used by hundreds of marketers and box offices to manage and schedule their event content efficiently. Best of all, we built it with mobile in mind – content can be controlled anywhere with a fully responsive interface.

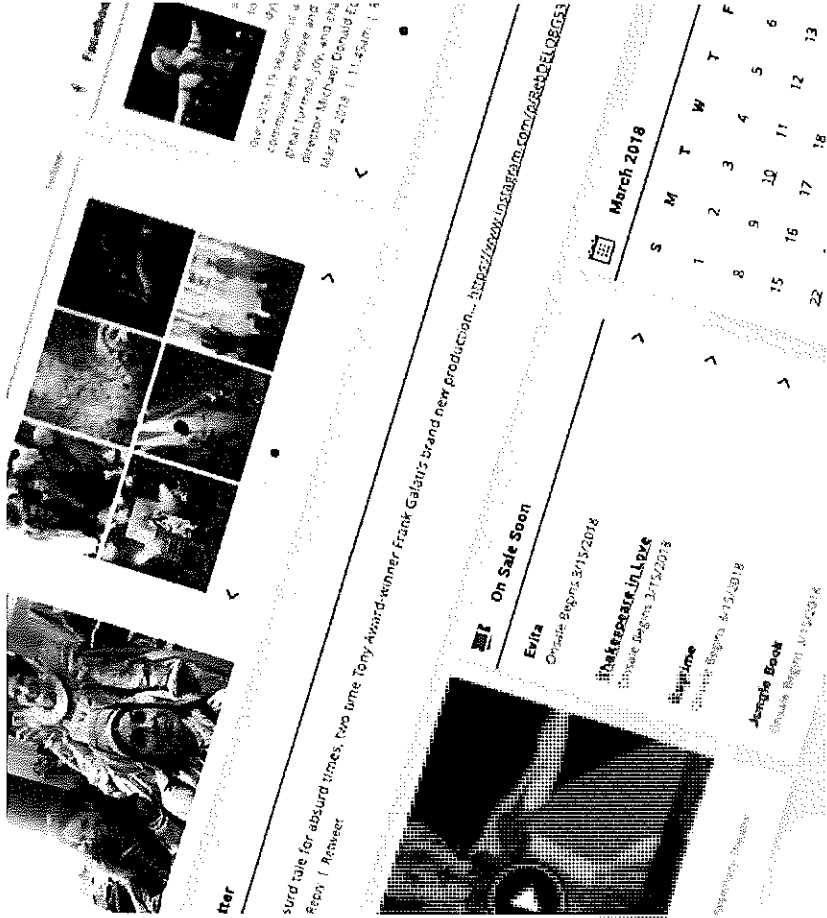
From Garth Brooks to Hamilton to League Championships, or the Super Bowl, carbonhouse websites are designed to handle the monumental ticketing demands of the world's most famous live acts and sporting events.

Not only does carbonhouse offer the flexible Showtime CMS, but we also have your ticketing company on speed dial. Be it branded ticketing pages, conversion analytics, or full-blown API event integration, carbonhouse works with the leading ticketing companies including **AXS, Paciolan, Ticketmaster, Veritix, AudienceView and Tessitura.**

DESIGN // RESPONSIVE

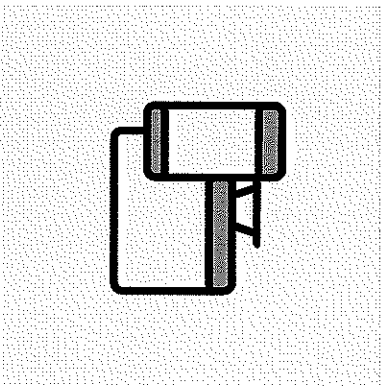
CARBONHOUSE DESIGN

GREAT DESIGN IS BORN OF SIMPLICITY AND CLARITY



All carbonhouse sites offer you a beautiful carbonhouse design with marketing flexibility and development savings. Our cutting-edge websites feature flexible content components which allow for hundreds of combinations and layout options.

We call this 'hybrid design,' which offers a combination of customizable, flexible content capabilities featuring Promotions, Mini-Calendar, Social Widgets, Ad Serve, Link List, and HTML, to ensure that your website adapts to your changing goals.



RESPONSIVE DESIGN

carbonhouse's goal is to allow users to view your website and buy tickets on devices of all sizes and screen resolutions. More than 70% of mobile searches lead to an action within an hour and up to 50% of your users will visit your website on a mobile device, so a mobile responsive website is a must.

Responsive Design delivers better SEO, an optimal user experience, and it's simpler to manage. Our mobile-first approach ensures fans quickly find everything they need, from on-sale information to directions to your venue.

 **Need more customization?** Ask us about custom design options.

SHOWTIME // CORE FEATURES

CORE FEATURES

CORE FEATURES
INCLUDED WITH EVERY
CARBONHOUSE WEBSITE



Responsive

All new sites feature fully-responsive design for mobile, tablet, and desktop



Powerful CMS

Showtime, the only Content Management System developed uniquely for the venue industry



Scheduling

Automate events, on-sales, and news releases through the automation database



Promotional Space

Content-managed ad rotators and promotional spaces



Share Content

Upload audio, video (YouTube), and photos quickly through the website media manager



Preview Pages

Preview and Share event detail and website pages prior to publication



Social Integration

Feature your social feeds including Facebook, Twitter and Instagram



Stable Hosting

Industry-leading hosting with scalable growth, failover capabilities & Security



Unlimited Training

Comprehensive, ongoing, unlimited training and technical support



Custom Fields

Event Detail Pages can be tailored to your unique requirements



Web Presence

manage Friendly URLs, meta tag/descriptions, and tracking codes for better SEO & SEM



Promotions

Timely homepage alerts and promotional overlay capabilities

FEATURES // TICKETING INTEGRATION

TICKETING INTEGRATION

OUR VENUE API IS BUILT PLATFORM INDEPENDENT TO ALLOW FAST INTEGRATIONS WITH ONE PUBLISH CAPABILITIES.

Our mission is to eliminate the walls that exist between the ticketing and consumer websites. Tighter integration creates a better experience in event discovery for fans. Our range of solutions include one-publish in event creation, integrated branding/style sheets for ticketing purchase flows, integration of ticket purchase in the consumer website, to cross domain tracking/analytics and more.

Today, **multiple** ticketing companies engage carbonhouse directly to create website solutions for their clients. They may try to create internal solutions, but they can always count on a successful engagement with their clients with carbonhouse.

TICKETING INTEGRATION PARTNERS

The logo for Ticketmaster, featuring the word "ticketmaster" in a lowercase, sans-serif font with a registered trademark symbol.The logo for Paciolan, featuring the word "Paciolan" in a bold, italicized, sans-serif font, with "A LEARFIELD COMPANY" in a smaller, all-caps font below it.The logo for AXS, featuring the letters "axs" in a bold, lowercase, sans-serif font.The logo for AudienceView, featuring a stylized "X" icon followed by the word "AudienceView" in a sans-serif font.The logo for Ticketweb, featuring the word "ticketweb" in a lowercase, sans-serif font, with "a ticketmaster company" in a smaller font below it.The logo for Tessitura, featuring a stylized arc above the word "tessitura" in a lowercase, sans-serif font, with "NETWORK" in a smaller font below it.The logo for Etix, featuring the word "etix" in a bold, lowercase, sans-serif font.The logo for Eventim, featuring the word "eventim" in a bold, lowercase, sans-serif font, with "CASCAPITAL" in a smaller font below it.

SHOWTIME// HOSTING

HOSTING

**FACT: ADELE, HAMILTON, ED SHEERAN, AND GARTH BROOKS
LOOK FOR THEIR ON-SALES TO BE RELIABLY SUPPORTED BY
CARBONHOUSE HOSTING.**

**WHILE OTHERS HAVE
SUFFERED FROM ON-SALE
FAILURES, CARBONHOUSE
SITES REMAIN STRONG.**

NO MORE WORRYING

carbonhouse websites work so well, you don't have to stress about your next big on-sale. Our unwavering dedication to rock-solid hosting during the world's largest on-sales is why we are continually investing in our worldwide infrastructure. From load-balanced, multi-zone hosting to massive data centers on multiple-continents with concurrent databases and immediate failover capabilities, to multiple levels of firewalls and DDoS attack prevention, data centers have provided carbonhouse an unheard-of four nines uptime.

SECURITY

We want a secure web. It is essential for website visitors to know that your website is safe--even more important, Google wants your website secure. Since October 2016, Google has begun to punish unsecured sites. Unlike our competitors, carbonhouse automatically secures all new websites with the latest SSL features.

READY TO TAKE IT TO 11?

For those who want even more, our technology partner CloudFlare, who supports more web traffic than Twitter, Amazon, and Apple combined, offers additional security and speed solution for our clients - carbonhouse Enterprise with CloudFlare.

carbonhouse Enterprise with CloudFlare adds additional leading-edge features that allow our clients' websites to score higher on Google's Speed Tests with Image Optimization, Javascript optimization, HTML Minify and faster load times through RockLoader and Argo Smart routing. If an improved Google-ranking score is your concern, then carbonhouse Enterprise with CloudFlare is the solution.

 **Need more details?** Our appendix features comprehensive answers by topic.

FEATURES // ACCESSIBILITY

ACCESSIBILITY

An accessible web is a priority for carbonhouse. Our goal is solutions that strive to reach the widest audience regardless of disability. The World Wide Web Consortium (W3C) sets the main international best practices for the World Wide Web and its accessibility. W3C created the Web Content Accessibility

Guidelines (WCAG 2.1). Every new website carbonhouse creates the means to help clients reach WCAG 2.1 AA elements. We work with clients throughout the process to ensure they are educated on many aspects of WCAG.

AREAS OF CONCENTRATION FOR WEB ACCESSIBILITY IMPLEMENTATION



Perceivable
Web content is made available to the senses sight, hearing, and/or touch



Operable
Interface forms, controls and navigation are operable



Understandable
Content and interface are understandable



Robust
Content can be used reliably by a wide variety of user agents, including assistive technologies

FIVE STAGES FOR SUCCESSFUL WEBSITE ACCESSIBILITY FOR CARBONHOUSE WEBSITES

SITEMAP

Review of best practices including highlighting recommendations on web accessibility sections and content .

DESIGN

Designs that meet requirements for minimal AA contrast levels to support website visitors with low-visibility or color blindness.

DEVELOPMENT

Coding that supports an accessible web. Post-development review by testing with industry-accepted screen reading tools.

TRAINING

Training and review of website accessibility tools and responsibilities for successful implementation of WCAG A & AA guidelines.

ON-GOING

Bi-Annual client webinars featuring updates on website accessibility by carbonhouse and web accessibility insiders.

Disclaimer: While we will encourage and support clients in their efforts to meet these guidelines, website accessibility implementation completed by carbonhouse does not cover accessibility issues introduced by third-party scripts and or forms, and client generated content. carbonhouse provides no warranties on indemnities on website accessibility and recommends review of any implementation with appropriate legal representatives.

FEATURES // SEO TOOLS

SHOWTIME GIVES YOU CONTROL OVER SEO

We maximize your exposure and your events by building Google's Knowledge Graph and Facebook Open Markup into your website. There's even one-click management of website tracking tags for search engine marketing! Through this

integration, the Showtime system will auto-generate images and meta descriptions for your website's Google search results, Facebook link previews, and Twitter Cards for each page and event listing.

SHOWTIME CMS GIVES YOU CONTROL OVER YOUR WEBSITE'S SEO. YOU HAVE THE POWER TO CUSTOMIZE THE META DESCRIPTION, KEYWORDS, PAGE TITLE, AND URI FOR EVERY PAGE AND EVENT, WITHOUT CONTACTING YOUR WEB VENDOR.

TRACKING PIXELS AND MARKETING TAGS

Have an upcoming marketing campaign with a unique tracking pixel? Looking to perform some digital retargeting? No longer will you need to wait for the web administrator to add precious tracking items. With Showtime you'll have the ability to place and implement pixels and tags to each event and page in real time!

FRIENDLY URLS

Long URLs make your valuable content challenging to find. Friendly URLs are custom URLs that are easy to access and are a great marketing tool. Not only are Friendly URLs simple for your web visitors to remember, but search engines love them too. Create and manage custom friendly URLs directly within Showtime to market your upcoming on-sale.

META DESCRIPTIONS

The Showtime page and event listing settings allow you to raise your SEO to the next level by adding keywords and customizing meta descriptions to help you be found within search results. Showtime gives you complete power to tailor your tracking keywords and meta descriptions to your most current marketing campaign.

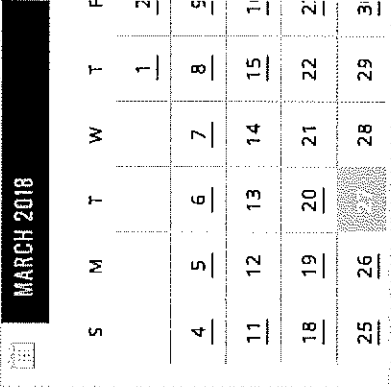
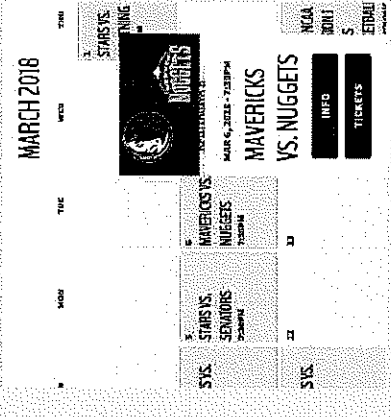
EVENT SCHEMA STRUCTURED DATA

Schema markup for a website allows events to be discovered by search engines. Without proper schema venues are missing out on a lot of organic traffic. carbonhouse's tools automate event schema. This allows the venue to be the official source of event content for google searches. As an additional tool, the website will include Google Breadcrumbs. Google Breadcrumbs are navigational aids that help Google understand your website structure resulting in more contextual results with search results.

FEATURES // CALENDARS

SAVE THE DATE

EVENT MARKETING RUNS THROUGH OUR VEINS, AND WITH OUR SINGULAR FOCUS ON ENSURING CLIENTS CAN SELL MORE TICKETS, WE OFFER THE OPTIONS YOU WANT TO CONVEY VISUAL INFORMATION IN YOUR EVENT CALENDAR.

INCLUDED	UPGRADE	UPGRADE
EVENT CALENDAR WIDGET Your website will have an event calendar widget automatically included. This interactive calendar widget can be placed throughout your website to give your visitors a quick click option to find events by date. If you are a client with multiple venues, we automatically provide venue locations within the calendar. 	FULL PAGE CALENDAR For a small upgrade fee, an interactive full-page calendar is available to give your web visitors a large-scale view of your venue's upcoming events. With this option, we build a customized calendar based on your website's design and styles. This calendar is also responsive and will display well on multiple devices. 	ECAL INTEGRATION ECAL's 'Add to Calendar' technology allows fans to receive detailed events info, including 'ticket alerts' and 'on sale' dates, directly into their calendars. ECAL drives sales, acquires valuable data, and keeps fans happy. Exclusive to carbonhouse, our seamless integration provides the maximum ability to increase incremental ticket sales. 

 **Require more customization, such as "add to calendar" or calendar overlay?**
We've done it all and are happy to design something new for you.

DESIGN SYSTEM // HYBRID

HYBRID DESIGN

NEXT-GENERATION PLATFORM CURATED FROM OVER TEN YEARS OF VENUE EXPERIENCE.



GOLD-STANDARD FOR VENUE WEBSITES

Front-End solution with striking balance between custom design, flexibility and value

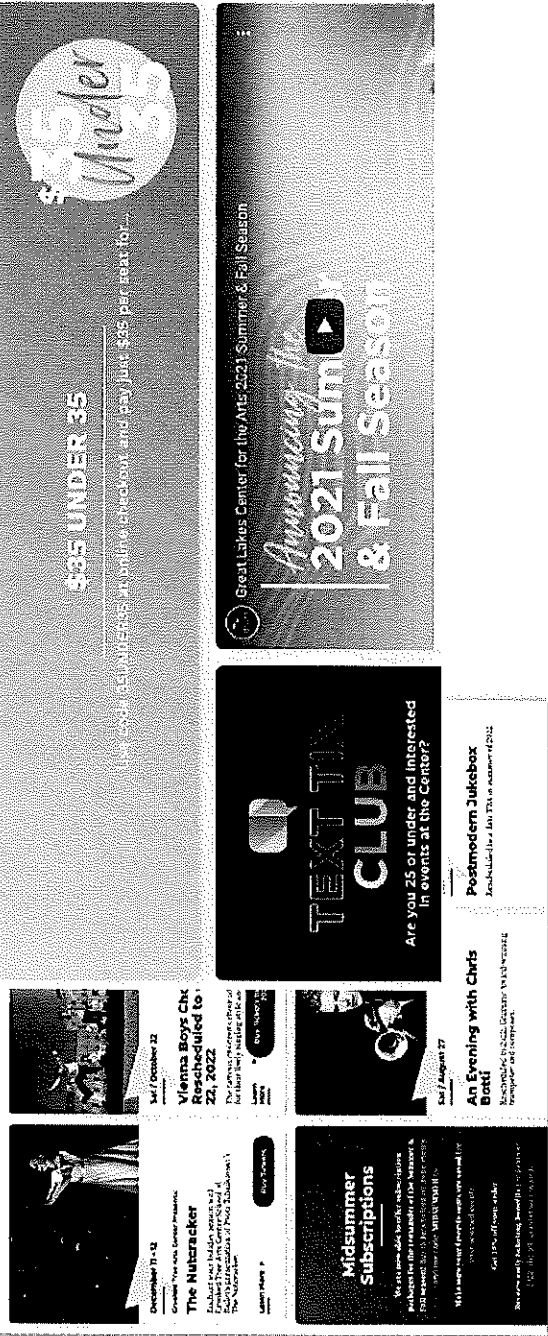
WIDGET-BASED COMPONENTS

Long term flexibility with changeable components for HTML, Social, Sponsorship, News and Event

INTEGRATED WEB ACCESSIBILITY

Built with universal design to allow event discovery for everyone

Upcoming Events



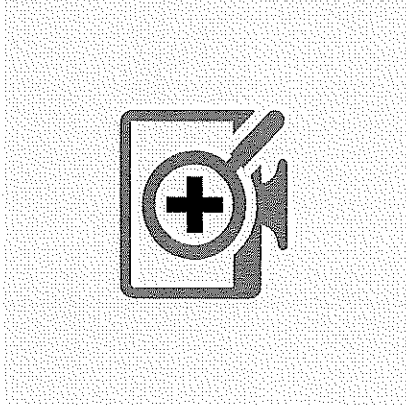
FEATURES // ADVANCED SEARCH

ADVANCED SEARCH

YOUR WEBSITE VISITORS LOVE TO SEARCH. IN FACT, MORE THAN 15% OF TICKETS SALES ARE GENERATED DIRECTLY FROM SEARCH RESULTS.

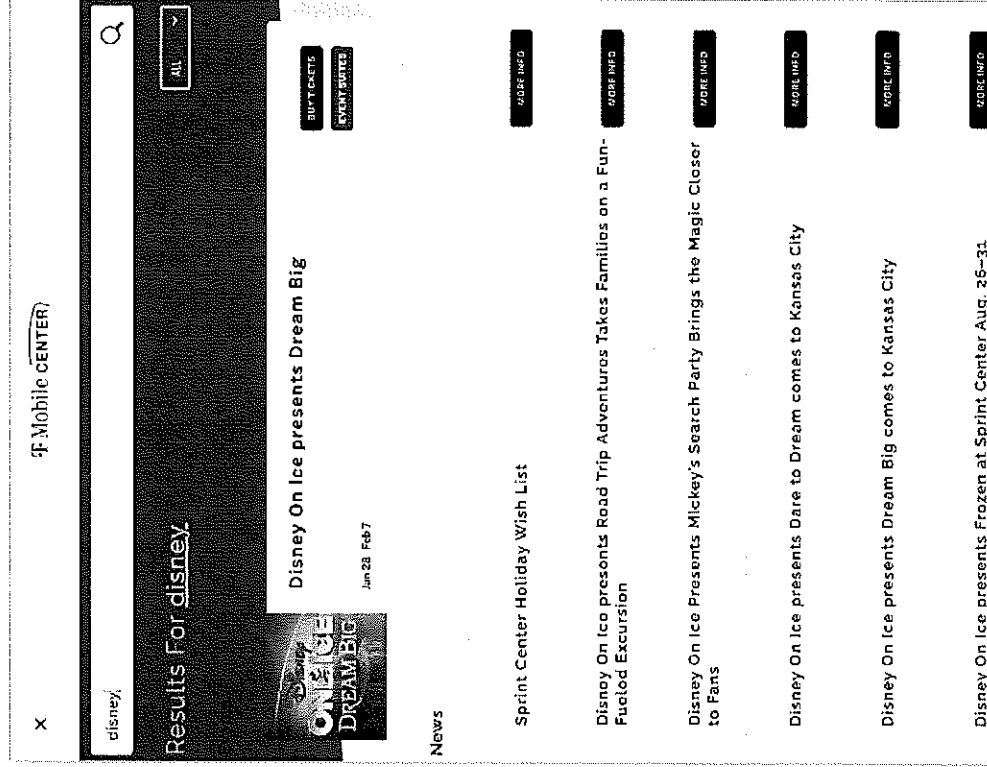
Quickly finding event information is a critical requirement for carbonhouse. From ad-supported solutions to comprehensive enterprise-level options utilizing custom search algorithm technologies, carbonhouse draws upon years of experience building event-search solutions of all price levels to support

clients' ticket sales. Our Advanced Search is most powerful tool available for venues - real time results as you type with integrated ticket links offering one click purchase directly from search results.



ADVANCED SEARCH

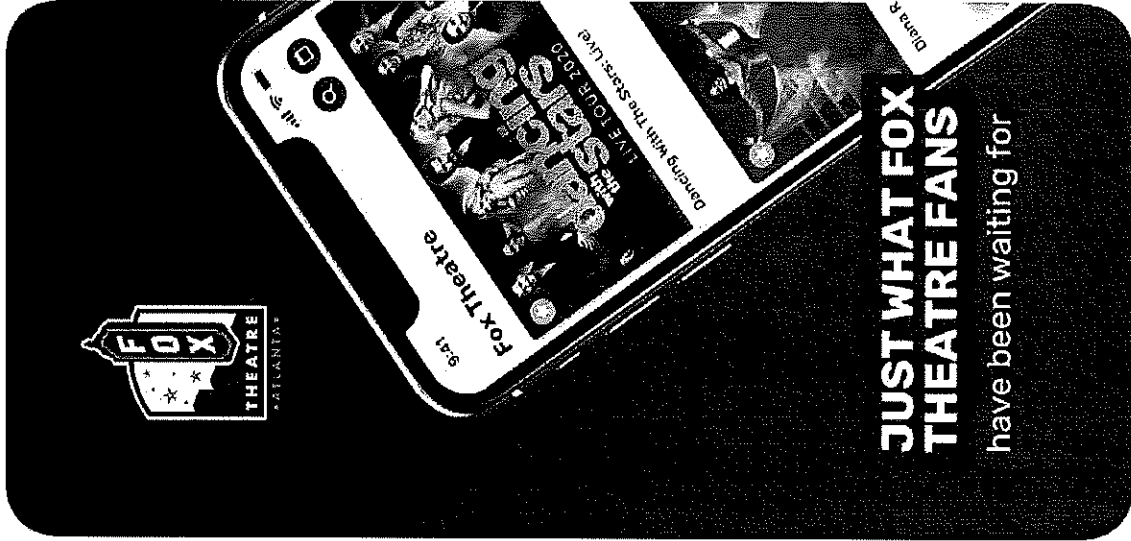
- Harnessing the power of algorithms, the carbonhouse search is a more dynamic solution.
- Stylized search results for events with integration of Buy Tickets and More Information links.
- Suggested listings from misspellings
- Ad-free
- Instant re-indexing of site
- Auto Fill Search, with results dynamically displayed upon typing.



FEATURES // APP INTEGRATION

MOBILE APP INTEGRATION

VENUE API IS BUILT PLATFORM INDEPENDENT TO ALLOW TURN-KEY INTEGRATIONS WITH ONE PUBLISH CAPABILITIES.



The carbonhouse team has previous experience of building mobile applications for venues. This unique experience taught us the key in success for mobile apps being powered by great content APIs.

Though we are platform independent toward mobile app vendors, we insist on being a partner to our client's success with mobile applications. Our one publish APIs are capable of providing all the content required and more for mobile applications including events, news, galleries, seating charts, food and beverage locations and sponsorships. Clients may add additional fields in Showtime CMS that are exposed exclusively to the mobile application.

INTEGRATION PARTNERS INCLUDE



V E N U E N E X T



YINZCAM



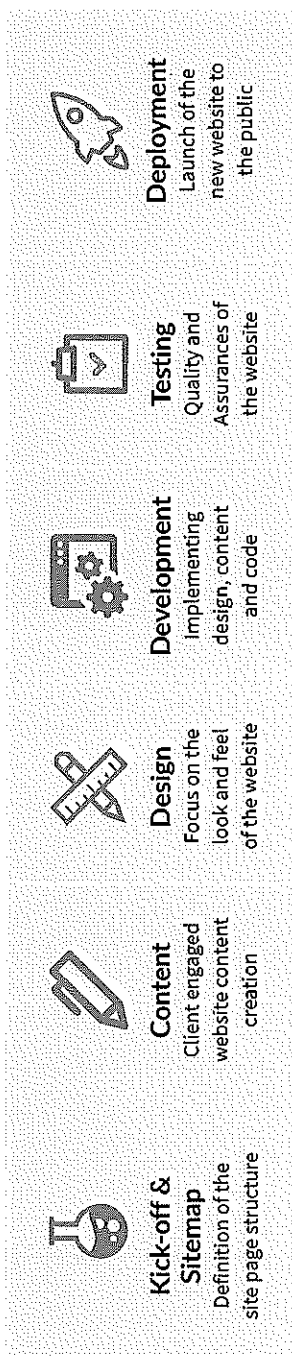
Realife Tech

venueLize

PROCESS // TIMELINE

PROCESS

SUCCESS BEGINS WITH KNOWING WHAT CLIENTS EXPECT. WITH MORE THAN 300 CLIENTS, WE'VE HAD A LOT OF PRACTICE. OUR PROCESS IS REPRESENTED BY A LINEAR OUTLINE OF EACH STAGE WITHIN THE PROJECT.



01 // KICK-OFF & SITEMAP

The carbonhouse kick-off sets the stage for what your project success looks like – by walking you through the carbonhouse process, introducing the team and tools you'll be working with, and establishing a project timeline. During this kick-off, carbonhouse will gather any existing sitemap materials and work with you to develop a site structure that defines the necessary information while accommodating current and future changes to the site.

Time Period: 2 weeks



02 // CONTENT

Upon approval of the sitemap, as only your team can speak for your venues, carbonhouse will look to the client to provide content (images/video/copy) for the new website within a simple-to-use web portal. While the scope does not include content creation, carbonhouse's team can assist in content editing, feedback, and review.

Time Period: In Parallel with Design



03 // DESIGN

carbonhouse understands the vital role that proper design and architecture will play in this project. We know your audience, and we follow proven web design guidelines to design for them. We focus on “look and feel” to create a dynamic environment built to exceed the expectations of your customers, sponsors, and facility managers. Our design solutions combine beautiful design with marketing flexibility and development savings. All of our sites feature a combination of customizable, flexible content capabilities featuring Promotions, Mini-Calendar, Social Widgets, Ad Serve, Link List, and HTML, to ensure that your website adapts to your changing goals.

During the beginning of the design phase, carbonhouse creates ‘wireframes’ of the home page. Wireframes are visual representations of various content elements of the website. These wireframes allow clients to visualize where areas of content, including featured events, upcoming events and, promotions, will live. After review and approval, carbonhouse will engage in the implementation of the client’s brand in designing the home page. Upon homepage approval, carbonhouse completes the design for the interior pages for client review including Event Detail, Event Listing and Styles Page.

Time Period: 6-8 weeks (contingent on client approvals)



04 // DEVELOPMENT

Following the approval of the design layouts, carbonhouse will proceed to the programming stage where we construct the website and integrate carbonhouse’s exclusive Showtime CMS. Here the design comes to life, incorporating your site’s unique functionality and styling utilizing HTML, CSS, Javascript, and PHP to convert your content into beautiful, fully functioning web pages.

Time Period: 5-7 weeks



05 // TESTING

carbonhouse undertakes an extensive testing checklist prior to website launch. New sites are tested for web browser compatibility with the following current dominant web browsers and plugins:

Desktop Testing:

- Ⓢ Microsoft Edge
- Ⓢ Latest Released Firefox Version
- Ⓢ Latest Released Safari Version
- Ⓢ Latest Google Chrome

Mobile Testing:

- Ⓢ iOS Safari
- Ⓢ Android
- Ⓢ Chrome

Time Period: 1-2 weeks



06 // DEPLOYMENT

After development, carbonhouse will present your new website and train you on Showtime, the powerful tool that you and your team will use to drive your site. carbonhouse offers two training sessions to ensure your staff is proficient in updating content on the new website. As you explore Showtime, we will work together to confirm each element operates correctly. The power will be in your hands to choose when your site is debuted to the world.

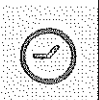
Time Period: 5-7 weeks



ON-GOING SUPPORT

carbonhouse provides unlimited training and technical support. Should there be any functionality changes requested or technical errors to be corrected, these support items are to be communicated and submitted via an online support ticket system. Our Client Services Team ensures all requests are answered in a timely manner with our online knowledge base and ticket-based help system. The appendix features our latest Service Level Agreement.

Time Period: Unlimited



PROJECT TIMELINE

Kick Off & Sitemap

Content

Design

Development

Testing & Deployment

Training & On-going Support

PROJECT // SCOPE

WEBSITE SCOPE

DESCRIPTION	FEE
ESSENTIALS • Kick Off & Sitemap: Client to provide initial sitemap for website through online interview. • Content: Client responsible for providing website content prior to development. Any content not provided by development, client will update within the system after training. • Design: Online interview. Client will provide color palette in advance. carbonhouse to create design based color selections for website. carbonhouse will create one design with two (2) iterations for the clients review. Client will select single design. Upon approval, carbonhouse will move the project into production.	\$15,000
HOSTING, LICENSE & SUPPORT Showtime CMS license, unlimited hosting, technical support(PER SLA) and training. Additional development requests, including database and design, will be quoted and billed at the current rate card. Pricing based on (3) three year term. Monthly billing to begin two (2) weeks from Soft Launch.	\$500 per month

OPTIONAL ITEMS	FEE
LARGE EVENT CALENDAR WITH PRINTABLE FORMAT	\$1,500 set-up
SEARCH OPTIONS Google - https://www.statefarmstadium.com/ Basic - https://www.xcelenergycenter.com/ Enhanced - https://www.budweisergardens.com/ Advanced - https://www.sprintcenter.com/	Google Custom Search (N/C) Basic Search - \$1,000 Enhanced Search - \$2,500 Advanced Search - \$3,500
INTERACTIVE VISITORS GUIDE MAP	\$1,500 set-up
ALERTS / OVERLAYS (TIMED — ON/OFF) • Home Page Overlay Promotions (Included) • Home Page Alerts (Included) • Event page Alerts	\$1,000 set-up
HOME PAGE INTRO PANELS	\$1000-\$1,500 set-up
CARBONHOUSE CONTENT API'S	Beginning at \$350 per month
SATIS.FI LABS AI CHAT BOT INTEGRATION	N/C with Satisfi agreement
GOOGLE EVENT DETAIL PAGE SCHEMA DATA AND BREADCRUMBS	\$1,500 set-up

APPENDIX

PROPOSAL APPENDIX



TECHNOLOGY TOPICS
SERVICE LEVEL AGREEMENT

APPENDIX // TECHNOLOGY Q & A

TECHNOLOGY TOPICS

APPLICATION AND INTERFACE SECURITY	Application and Interface SecurityOur code is written and reviewed to adhere to industry-standard best practices including the OWASP top-10. Any modifications to content or updates to the system are archived in an audit log which provides a detailed view into administrative use of the content platform.
AUDIT ASSURANCE AND COMPLIANCE	Code is reviewed by multiple team-members before being deployed to production
BUSINESS CONTINUITY MANAGEMENT AND OPERATIONAL RESILIENCE	carbonhouse maintains an extensive Impact Remediation Matrix which details threats, risks, and items and behavior impactful to our operations. Each potential impact has documented steps to specify detection, possible gaps in detection, a description of the impact pre-mitigation, and one or more mitigation strategies among the categories of prevention, suppression, containment, and recovery. The Matrix is used to perform regular disaster recovery tests, and has been used to drive out and prevent many rare but dangerous classes of events from impacting operations
CHANGE CONTROL AND CONFIGURATION MANAGEMENT	Carbonhouse utilizes extensive automated and tested configuration management which allows for breadth and depth in integration and auditing of configuration across servers, deployments, developer/operations access controls, and third-party integrations. Our configuration management solution is also extensively integrated with our operational monitoring, alerting, and audit systems. This allows rapid reaction and awareness into any deviation from the desired configuration or expected application behaviors.
DATA SECURITY AND INFORMATION LIFECYCLE MANAGEMENT	Carbonhouse's content platform contains no personally-identifiable information, and is solely a content platform. Carbonhouse does utilize an extensive monitoring, alerting, and auditing system, to ensure that any use or flow of information into or out of the system is controlled and logged.
DATACENTER SECURITY	Carbonhouse's content platform uses Amazon's Elastic Compute Cloud (EC2) and we follow industry best practices around access control and Identity Access Management (IAM)
ENCRYPTION AND KEY MANAGEMENT	Carbonhouse's infrastructure follows industry best practices around access control and Identity Access Management (IAM) Examples of access control and content security include: • No unencrypted keys are stored "at-rest" in any local filesystem. • Use of encrypted filesystems for all deployed servers • Issuance and revocation of developer and operations access secrets is tightly integrated, allowing rapid changes to all access control configurations • No shared credentials. All credentials are scoped as tightly as possible to assist in environmental isolation as well as audit-trail accuracy

GOVERNANCE AND RISK
MANAGEMENT

Our systems governance and risk management policies are driven and informed by the previously mentioned Impact Remediation Matrix.

Industry standards across diverse realms such as application development, data integrity, server configuration are combined with a breakdown of the myriad failure modes of our entire operational as well as organizational infrastructure to provide a top-to-bottom, forest-to-trees view of the threats and risks for which we must have preparedness.

This self-reinforcing set of policies and risks is regularly re-evaluated to stay up-to-date.

IDENTITY AND ACCESS
MANAGEMENT

Carbonhouse's infrastructure follows industry best practices around access control and Identity Access Management (IAM)

Examples of access control and content security include:

- No unencrypted keys are stored "at-rest" in any local filesystem
- Use of encrypted filesystems for all deployed servers
- Issuance and revocation of developer and operations access secrets is tightly integrated, allowing rapid changes to all access control configurations
- No shared credentials. All credentials are scoped as tightly as possible to assist in environmental isolation as well as audit-trail accuracy
- Administrative access of the platform is tightly controlled per-user by fine-grained access controls allowing isolation of access to even individual content items

INFRASTRUCTURE AND
VIRTUALIZATION SECURITY

Carbonhouse utilizes extensive automated and tested configuration management which allows for breadth and depth in integration and auditing of configuration across servers, deployments, developer/operations access controls, and third-party integrations.

Our configuration management solution is also extensively integrated with our operational monitoring, alerting, and audit systems. This allows rapid reaction and awareness into any deviation from the desired configuration or expected application behaviors.

Production logs are archived as well as integrated into our alerting system giving us real-time insight into any operational health issues.

Due to our extensive use of automated configuration management, developer, staging, and production platforms are completely isolated, yet are identical, allowing proper testing to infrastructure changes as well as production-identical deployment environments.

Our configuration management platform makes extensive use of available operating system hardening functionality for policy enforcement, audit information, as well as real-time monitoring of low-level performance characteristics and potential and actual policy violations.

INTEROPERABILITY AND
PORTABILITY

Carbonhouse uses a wealth of open-source software as well as open, industry-standard protocols, APIs, and data formats.

AWARENESS

Our Nagios monitoring and alerting systems provide real-time awareness into any installed software vulnerabilities.

Vulnerable software is upgraded, patched, or otherwise mitigated within hours of public release of e.g. CVE-assignment or announcement of vulnerability.

DATACENTER LOCATION

Carbonhouse makes use of Amazon Web Services (AWS) regions us-east-1 (located in Northern Virginia) as well as eu-west-1 (located in Dublin, Ireland)

APPENDIX // SERVICE LEVEL AGREEMENT

SERVICE LEVEL AGREEMENT

We shall ensure that a fully staffed help desk is available for reporting problems (as defined below) and making requests from 9:00 BST to 23:00 BST on week days (“Working Hours”), excluding public holidays. Resources will be available after hours, weekends and on public holidays for reporting and resolution of suspected or actual Priority 1 Problems (as defined below). All requests must be submitted through appropriate ticket requests system as created for client by carbonhouse.

PRIORITY DEFINITIONS	
1 HIGH	A problem that causes a threat to revenue. E.g. server is down, the website is down.
2 MEDIUM	A problem that requires urgent attention, and is a minor threat to revenue. E.g. Footer logos not displaying properly, Event Tagline not displaying.
3 LOW	A cosmetic issue, usability issue, or problem that exists that does not impact revenue
4 MINOR ENHANCEMENT	Any minor requests for additional functionality or for a change in existing functionality. These requests are subject to scoping
5. MAJOR ENHANCEMENT	Major features or new additions that require scoping

For Priority 1 Problems updates will be provided at least hourly.

Resolution of Priority 1 and 2 are covered by this SLA. Priority 3, 4, 5 requests will be scoped, and time and cost estimates provided.

For purposes of this Service Level Agreement, “Problem” shall mean any lack of availability of the Website (or any part thereof) so that it cannot be accessed by a user and/or a complete or partial failure or function degradation of all or any part of the Website.

PROBLEM RESOLUTION TIMES		
PRIORITY	INITIAL RESPONSE	MAXIMUM RESOLUTION TIME
1 HIGH	30 Minutes	3 Hours
2 MEDIUM	12 Hours	24 - 48 Hours
3 LOW	24 Hours	Friday-Sunday requests Monday End of Day Resolution Monday-Tuesday requests Wednesday End of Day Resolution Wednesday-Thursday requests Friday End of Day Resolution
4 MINOR ENHANCEMENT	2-3 Days	Previous Sunday-Wednesday Requests Tuesday End of Day Resolution Previous Thursday - Saturday requests Thursday End of Day Resolution
5. MAJOR ENHANCEMENT	7 Days for Review/Scoping	As agreed between the parties

* Initial Response Time: Elapsed time between Problem receipt and the first response back to the User that reported the problem or raised the request through the support system.

** Maximum Resolution Time or total solution time is the total time between Problem or request receipt and Problem or request closing less waiting time (being the time it takes you to respond to any relevant and reasonable questions that we ask). This does not constitute a guaranteed response time and in all cases we will use our best endeavors to resolve issues within the appropriate resolution time.

**RESOLUTION OF THE MAYOR AND BOARD OF ALDERMEN OF THE
CITY OF SOUTHAVEN, MISSISSIPPI
DECLARING SURPLUS PROPERTY**

WHEREAS, the City of Southaven Parks Department ("City") is presently in possession of various items for surplus as set forth in Exhibit A, (collectively "Surplus Property"), which are no longer needed by the City; and

WHEREAS, pursuant to Mississippi Code 17-25-25, it has been recommended to the Mayor and Board of Aldermen that the Surplus Property be declared as surplus and sold and/or disposed of as appropriate and in accordance with Mississippi Code 17-25-25, and removed from the fixed assets inventory; and

WHEREAS, pursuant to Mississippi Code 17-25-25(3), the City may sell or dispose of the property at a private sale as the value is less than \$1,000.00, which is evidenced by the appraised value letter in Exhibit A; and

WHEREAS, the Mayor and Board of Aldermen are desirous of disposing of such Surplus Property and amending, its fixed assets inventory pursuant to State guidelines; and

NOW, THEREFORE, BE IT ORDERED by the Mayor and Board of Aldermen of the City of Southaven, Mississippi as follows, to wit:

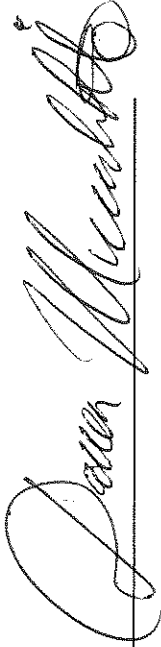
1. The Surplus Property hereby declared as surplus.
2. The City Clerk, Parks Director or their designee, are hereby authorized and directed to follow Mississippi Code 17-25-25 for the disposition of Surplus Property.

REMAINDER OF PAGE LEFT BLANK

Motion was made by Alderman Payne and seconded by Alderman Kelly, for the adoption of the above and foregoing Resolution, and the question being put to a roll call vote, the result was as follows:

Alderman Jerome	YES
Alderman Kelly	YES
Alderman Hoots	YES
Alderman Payne	YES
Alderman Gallagher	YES
Alderman Wheeler	YES
Alderman Flores	YES

RESOLVED AND DONE, this 22nd of March, 2022.

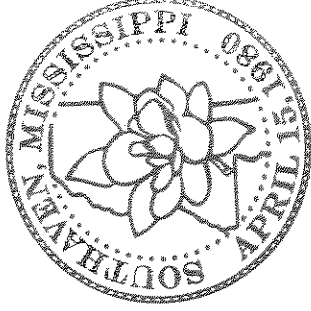


Darren Musselwhite, MAYOR

ATTEST:



Andrea Mullen CITY CLERK



SUMMARY CONTRACT CHANGE ORDER

DATE:	2/28/2021	ORDER NO.	1 & Final
CONTRACT FOR:	ERBR-17-499(01) EMERGENCY ROAD AND BRIDGE REPLACEMENT ON STATELINE ROAD		
OWNER:	CITY OF SOUTHAVEN		
CONTRACTOR:	DEMENT CONSTRUCTION COMPANY, LLC		
You are hereby requested to comply with the following changes from the contract plans and specifications:			
Description of Changes		DECREASE in Contract Price	INCREASE in Contract Price
(Supplemental Plans and Specifications Attached)			
Item 7 - Unclassified Excavation		\$ 2,717.00	\$ 28,259.87
Item 8 - Borrow Excavation (F.M.E.)(Contractor Furnished)(Class 9-6)			
Item 9 - Channel Excavation, FM		\$ 16,377.60	
Item 10 - Crushed Stone, Size 610		\$ 13,021.44	
Item 11 - Hot Mix Asphalt, St, 19MM		\$ 13,606.12	
Item 12 - Hot Mix Asphalt, St, 9.5MM		\$ 7,321.97	
Item 13 - Cold Milling Of Bituminous Pavement, All Depths		\$ 7,072.00	
Item 14 - Asphalt For Tack Coat			\$ 318.75
Item 18 - Right Of Way Markers (Type I)			\$ 885.00
Item 20 - Additional Construction Signs			\$ 200.00
Item 23 - 6" Wide Thermoplastic Edge Stripe, Continuous White		\$ 817.50	
Item 24 - 6" Wide Thermoplastic Traffic Stripe, Continuous Yellow		\$ 547.50	
Item 26 - Flowable Fill			\$ 630.50
Item 28 - Temporary Silt Fence		\$ 945.00	
Item 29 - Walltes 20"			\$ 900.00
Item 33 - 25" Pre-Formed Pile Hole		\$ 8,000.00	
Item 34 - Bridge Concrete, Class A		\$ 8,499.50	
Item 38 - Reinforcement			\$ 3,422.10
Item 40 - Loose Riprap, Size 300		\$ 7,171.50	
Item 41 - Geotextile Under Riprap, Type V, AOS 0.21-0.43			\$ 41.98
TOTALS		\$ 86,097.13	\$ 34,658.20
NET CHANGE IN CONTRACT PRICE			\$ (51,438.93)

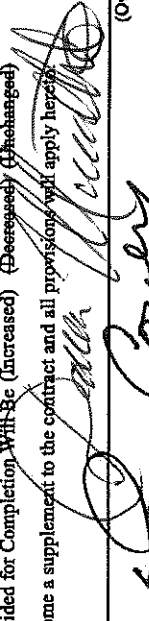
JUSTIFICATION: This summary change order adjusts original contract quantities to match final measure quantities.

The amount of the Contract will be (Decrease)	(Increase)	By The Sum Of:	Fifty-One Thousand
Four Hundred Thirty-Eight and 93/100			Dollars \$ (51,438.93)
The Contract Total Including this and previous Change Orders Will Be:			One Million Eight Hundred Fourteen
Thousand Two Hundred Ninety-Seven and 47/100			Dollars \$ 1,814,297.47
The Contract Period Provided for Completion Will Be (Decreased) (Unchanged)			0 Days.
This document will become a supplement to the contract and all provisions will apply hereto.			<i>B-24-22</i> (Date)
Accepted	<i>James C. Be...</i>	(Owner)	
Recommended			
Accepted	<i>James C. Be...</i>	(Owner's Architect/Engineer)	<i>2/25/22</i> (Date)
		(Contractor)	

SUMMARY CONTRACT CHANGE ORDER

DATE:	3/1/2022	ORDER NO.	1 & Final
CONTRACT FOR:	WATER SYSTEM AUTOMATIC METER READ CONVERSION		
OWNER:	CITY OF SOUTHAVEN		
CONTRACTOR:	PEDAL VALVES, INC.		
You are hereby requested to comply with the following changes from the contract plans and specifications:			
Description of Changes (Supplemental Plans and Specifications Attached)		DECREASE in Contract Price	INCREASE in Contract Price
Item 3 - 5/8" X 3/4" (PDND) Meter Conversion (Complete-in-Place)		\$ 534,711.92	
Item 4 - 1" Meter (PDND) Conversion (Complete-in-Place)		\$ 21,016.48	
Item 5 - 1 1/2" (Ultrasonic) Meter Conversion (Complete-in-Place)		\$ 5,308.50	
Item 6 - 2" (Ultrasonic) Meter Conversion (Complete-in-Place)		\$ 29,412.00	
Item 7 - 3" (Ultrasonic) Meter Conversion (Complete-in-Place)		\$ 18,188.03	
Item 8 - 4" (Ultrasonic) Meter Conversion (Complete-in-Place)		\$ 21,378.91	
Item 10 - 5/8" X 3/4" (PDND) Meter (Meter, Encoder and Endpoint Only - not installed)		\$ 60,305.20	
Item 11 - 1" (PDND) Meter (Meter, Encoder and Endpoint Only-not installed)		\$ 2,944.34	\$ 12,398.95
Item 12 - 1 1/2" (Ultrasonic) Meter (Meter, Encoder and Endpoint Only-not installed)		\$ 9,324.00	
Item 13 - 2" (Ultrasonic) Meter (Meter, Encoder and Endpoint Only-not installed)		\$ 4,471.38	
Item 14 - 3" (Ultrasonic) Meter (Meter, Encoder and Endpoint Only-not installed)		\$ 8,826.72	
Item 15 - Water Meter Box with Lid - Furnish Only and Not Installed			\$ 342,607.18
Item 16 - 5/8" X 3/4" Existing (PDND) Meter Retrofit w/ Encoder and Endpoint (Complete- in-Place)			\$ 12,084.12
Item 17 - 1" Existing (PDND) Meter Retrofit w/ Encoder and Endpoint (Complete-in-Place)			\$ 62,711.97
Item 18 - 5/8" X 3/4" Meter Riser with 7" Rise (Complete-in-Place)			\$ 2,138.40
Item 19 - 5/8" X 3/4" Meter Riser with 12" Rise (Complete-in-Place)		\$ 71,338.96	
Item 20 - Replace Water Meter Box with Lid (Complete-in-Place)			\$ 56,243.04
Item 21 - Replace Water Meter Box Lid Only (Complete-in-Place)		\$ 1,600.00	\$ 6,135.90
Item 22 - Replace Water Meter Box Round Lid Only (Complete-in-Place)		\$ 2,250.00	
Item 23 - 3/4" PVC Piping and Brass Coupler Modification		\$ 3,000.00	
Item 24 - 1" PVC Piping and Brass Coupler Modification		\$ 3,500.00	
Item 25 - 3/4" Copper/Poly/Galvanized Piping and Coupler Modification		\$ 4,642.46	
Item 26 - 1" Copper/Poly/Galvanized Piping and Coupler Modification		\$ 17,760.00	
Item 27 - Contingency Allowance			\$ 440.00
Item 28 - 1" and Below Quazite Lids - Traffic Rated (Complete-in-Place)		\$ 5,812.74	
Item 29 - 1.5" and 2" Quazite Lids - Traffic Rated (Complete-in-Place)			
Item 30 - 6" (Ultrasonic) Meter Conversion (Complete-in-Place)			
TOTALS		\$ 825,791.64	\$ 494,759.56
NET CHANGE IN CONTRACT PRICE			\$ (331,032.08)

JUSTIFICATION: This summary change order adjusts original contract quantities to match final measure quantities. This change order additionally adds contract time for delays of materials due to COVID impacts.

The amount of the Contract will be (Decrease)	(Decrease)	By The Sum Of:	Three Hundred Thirty One Thousand
Thirty Two Dollars and Eight Cents			Dollars \$ (331,032.08)
The Contract Total Including this and previous Change Orders Will Be:			Seven Million Five Hundred Twenty
Four Thousand Two Dollars and Ninety Three Cents			Dollars \$ 7,524,002.93
The Contract Period Provided for Completion With Be (Increased) (Decreased) (Unchanged)			133 Days.
This document will become a supplement to the contract and all provisions will apply hereto			
Accepted		(Owner)	
Recommended		(Owner's Architect/Engineer)	3/02/22 (Date)
Accepted		(Contractor)	03/02/2022 (Date)

Conversion

PROJECT: Water System Automatic Meter Read Conversion

PARTIAL PAYMENT ESTIMATE NO. 12
PAGE 1 of 3

ENGINEER:

Civil-Link, LLC

PERIOD OF ESTIMATE

FROM 1/25/2022 TO 2/13/2022

ESTIMATE

1. Original Contract.....	\$7,855,035.01
2. Change Orders.....	\$ (331,032.08)
3. Revised Contract (1 + 2).....	\$ 7,524,002.93
4. Work Completed*.....	\$ 7,524,002.93
5. Stored Materials*.....	\$ -
6. Subtotal (4 + 5).....	\$ 7,524,002.93
7. Retainage*.....	\$ -
8. Previous Payments.....	\$ 7,106,172.61
9. Amount Due (6-7-8).....	\$ 417,830.32

* Detailed breakdown attached

CONTRACT TIME

On Schedule

☒ Yes ☐ No

Starting Date	12/7/2020
Projected Completion	2/13/2022

ENGINEER'S CERTIFICATION:

The undersigned certifies that the work has been carefully inspected and to the best of their knowledge and belief, the quantities shown in this estimate are correct and the work has been performed in accordance with the contract documents.

Pedal Valves, Inc.

Engineer

Civil-Link LLC



Jason Wilkie, VP of Operations

Date 03/02/2022

APPROVED BY OWNER:

City of Southaven

CONTINUATION SHEET

APPLICATION NO: 12

PROJECT: Water System Automatic Meter Read Conversion
 APPLICATION DATE: 2/25/2022
 PERIOD FROM: 1/25/2022
 PERIOD TO: 2/13/2022

ITEM NO.	DESCRIPTION OF WORK	UNIT	QUANTITIES	UNIT PRICE	SCHEDULED VALUE	FROM PREVIOUS APPLICATIONS	QTY THIS PERIOD	EXTENSION THIS PERIOD	MATERIALS PRESENTLY STORED (NOT IN D OR E)	TOTAL COMPLETED AND STORED TO DATE (O + E + F)	% (G / C)	FINISH (C - G)	BALANCE TO (IF VARIABLE RATE)	RETAINAGE
1	Mobilization/Demobilization	LS	1.0	\$ 468,000.00	\$ 468,000.00	\$ 421,200.00	0.10	\$ 46,800.00	\$	\$ 468,000.00	100%	\$	\$ 23,400.00	
2	Equipment / Software Training and Installation Management	LS	1.0	\$ 12,818.00	\$ 12,818.00	\$ 12,818.00	0.00	\$	\$	\$ 12,818.00	100%	\$	\$ 640.90	
3	5/8" X 3/4" (PND) Meter Conversion (Complete-in-Place)	EA	14,221.0	\$ 312.88	\$ 4,449,466.48	\$ 4,449,466.48	0.00	\$	\$	\$ 4,449,466.48	100%	\$	\$ 222,473.32	
4	1" Meter (PND) Conversion (Complete-in-Place)	EA	434.0	\$ 456.88	\$ 198,285.92	\$ 198,285.92	0.00	\$	\$	\$ 198,285.92	100%	\$	\$ 9,914.30	
5	1/2" (Ultrasonic) Meter Conversion (Complete-in-Place)	EA	44.0	\$ 884.75	\$ 38,929.00	\$ 38,929.00	0.00	\$	\$	\$ 38,929.00	100%	\$	\$ 1,946.45	
6	2" (Ultrasonic) Meter Conversion (Complete-in-Place)	EA	343.0	\$ 1,087.80	\$ 373,074.00	\$ 386,169.00	0.00	\$	\$	\$ 373,074.00	100%	\$	\$ 18,653.70	
7	3" (Ultrasonic) Meter Conversion (Complete-in-Place)	EA	47.0	\$ 2,698.29	\$ 122,119.63	\$ 122,119.63	0.00	\$	\$	\$ 122,119.63	100%	\$	\$ 6,105.98	
8	4" (Ultrasonic) Meter Conversion (Complete-in-Place)	EA	4.0	\$ 3,054.13	\$ 12,216.52	\$ 12,216.52	0.00	\$	\$	\$ 12,216.52	100%	\$	\$ 610.83	
9	6" Compound Meter Conversion (Complete-in-Place)	EA	0.0	\$ 7,901.32	\$	\$	0.00	\$	\$	\$ 0.00	100%	\$	\$	
10	6/8" X 3/4" (PND) Meter (Meter, Encoder and Endpoint Only-not installed)	EA	126.0	\$ 281.80	\$ 35,506.80	\$ 35,506.80	126.00	\$	\$	\$ 35,506.80	100%	\$	\$ 1,775.34	
11	1" (PND) Meter (Meter, Encoder and Endpoint Only-not installed)	EA	43.0	\$ 420.62	\$ 18,086.66	\$ 18,086.66	43.00	\$	\$	\$ 18,086.66	100%	\$	\$ 904.33	
12	1 1/2" (Ultrasonic) Meter (Meter, Encoder and Endpoint Only-not installed)	EA	22.0	\$ 729.35	\$ 16,045.70	\$ 16,045.70	22.00	\$	\$	\$ 16,045.70	100%	\$	\$ 802.29	
13	2" (Ultrasonic) Meter (Meter, Encoder and Endpoint Only-not installed)	EA	0.0	\$ 932.40	\$	\$	0.00	\$	\$	\$ 0.00	100%	\$	\$	
14	3" (Ultrasonic) Meter (Meter, Encoder and Endpoint Only-not installed)	EA	3.0	\$ 2,235.69	\$ 6,707.07	\$ 6,707.07	3.00	\$	\$	\$ 6,707.07	100%	\$	\$ 335.35	
15	Water Meter Box with Lid - Furnish Only and Not Installed	EA	74.0	\$ 20.72	\$ 1,533.28	\$ 1,533.28	74.00	\$	\$	\$ 1,533.28	100%	\$	\$ 76.66	
16	5/8" X 3/4" Existing (PND) Meter Retrofit w/ Encoder and Endpoint (Complete-in-Place)	EA	4,631.0	\$ 223.78	\$ 1,013,947.18	\$ 1,013,947.18	0.00	\$	\$	\$	100%	\$	\$ 50,697.36	
17	1" Existing (PND) Meter Retrofit w/ Encoder and Endpoint (Complete-in-Place)	EA	104.0	\$ 159.00	\$ 16,596.00	\$ 16,596.00	104.00	\$	\$	\$ 16,596.00	100%	\$	\$ 8,298.00	
18	5/8" X 3/4" Meter Riser with 7" Rise (Complete-in-Place)	EA	1,159.0	\$ 153.33	\$ 177,709.47	\$ 177,709.47	0.00	\$	\$	\$ 177,709.47	100%	\$	\$ 8,885.47	
19	5/8" X 3/4" Meter Riser with 12" Rise (Complete-in-Place)	EA	262.0	\$ 178.20	\$ 46,688.40	\$ 46,688.40	0.00	\$	\$	\$ 46,688.40	100%	\$	\$ 2,334.42	
20	Replace Water Meter Box with Lid (Complete-in-Place)	EA	1,748.0	\$ 68.98	\$ 120,000.00	\$ 120,000.00	1,748.00	\$	\$	\$ 120,000.00	100%	\$	\$ 6,123.35	
21	Replace Water Meter Box Lid Only (Complete-in-Place)	EA	7,392.0	\$ 17.62	\$ 130,247.04	\$ 130,247.04	0.00	\$	\$	\$ 130,247.04	100%	\$	\$ 6,512.35	
22	Replace Water Meter Box Round Lid Only (Complete-in-Place)	EA	726.0	\$ 27.15	\$ 19,710.90	\$ 19,710.90	0.00	\$	\$	\$ 19,710.90	100%	\$	\$ 985.55	
23	3/4" PVC Piping and Brass Coupler Modification	EA	10.8	\$ 40.00	\$ 400.00	\$ 400.00	10.80	\$	\$	\$ 400.00	100%	\$	\$ 20.00	
24	1" PVC Piping and Brass Coupler Modification	EA	45.00	\$ 60.00	\$ 2,700.00	\$ 2,700.00	45.00	\$	\$	\$ 2,700.00	100%	\$	\$	
25	3/4" Copper/Poly/Galvanized Piping and Coupler Modification	EA	0.0	\$ 60.00	\$	\$	0.00	\$	\$	\$ 0.00	100%	\$	\$	
26	1" Copper/Poly/Galvanized Piping and Coupler Modification	EA	0.0	\$ 70.00	\$	\$	0.00	\$	\$	\$ 0.00	100%	\$	\$	
27	Contingency Allowance	LS	0.0	\$ 4,642.46	\$	\$	0.00	\$	\$	\$ 0.00	100%	\$	\$	
28	1" and Below Quazite Lids - Traffic Rated (Complete-in-Place)	EA	15.0	\$ 296.00	\$ 4,440.00	\$ 4,440.00	0.00	\$	\$	\$ 4,440.00	100%	\$	\$ 222.00	
29	1.5" and 2" Quazite Lids - Traffic Rated (Complete-in-Place)	EA	26.0	\$ 440.00	\$ 11,440.00	\$ 11,440.00	0.00	\$	\$	\$ 11,440.00	100%	\$	\$ 572.00	
30	6" (Ultrasonic) Meter Conversion (Complete-in-Place)	EA	0.0	\$ 5,812.74	\$	\$	0.00	\$	\$	\$ 0.00	100%	\$	\$	
31	2" Turbo Meter (Installation Only) (Complete-in-Place)	EA	1.0	\$ 150.00	\$ 150.00	\$ 150.00	1.00	\$	\$	\$ 150.00	100%	\$	\$ 7.50	
32	Miscellaneous Other Boxes & Lids	LS	1.0	\$ 10,354.72	\$ 10,354.72	\$ 10,354.72	1.00	\$	\$	\$ 10,354.72	100%	\$	\$ 517.74	
33	3/4" Regisler & Endpoint	EA	300.0	\$ 197.50	\$ 59,250.00	\$ 59,250.00	300.00	\$	\$	\$ 59,250.00	100%	\$	\$ 8,887.50	
34	3/4" Meter Body	EA	684.0	\$ 65.50	\$ 44,802.00	\$ 44,802.00	684.00	\$	\$	\$ 44,802.00	100%	\$	\$ 2,240.10	
35	1" Regisler & Endpoint	EA	10.0	\$ 197.50	\$ 1,975.00	\$ 1,975.00	10.00	\$	\$	\$ 1,975.00	100%	\$	\$ 98.75	
36	6" Meter & Endpoint	EA	1.0	\$ 6,850.00	\$ 6,850.00	\$ 6,850.00	1.00	\$	\$	\$ 6,850.00	100%	\$	\$ 342.50	
37	Endpoint Only	EA	15.0	\$ 125.00	\$ 1,875.00	\$ 1,875.00	15.00	\$	\$	\$ 1,875.00	100%	\$	\$ 93.75	
Grand Totals					\$ 7,524,002.93	\$ 7,168,811.70		\$ 368,286.23	\$	\$ 7,524,002.93		\$	\$ 376,200.15	

Pedal Valves Inc

13625 River Road
Luling, LA 70070

9857859997

Invoice

Date	Invoice #
2/24/2022	317124

Bill To
City of Southaven 8710 Northwest Dr. Southaven, MS 38671

Ship To
Southaven Meter

P.O. Number	Terms	Rep	Ship	Via	F.O.B.
	Net 30		2/24/2022		
Quantity	Item Code	Description		Price Each	Amount
1	Retainage - Meter ...	Retainage - Meter Project		417,830.32	417,830.32

CANUP
ENGINEERING, INC.
ELECTRICAL ENGINEERING CONSULTANTS

3100 Appling Road
Bartlett, TN 38133
Phone: 901-379-9762
www.canupeng.com

March 9, 2022

Bradley K. Wallace, A.I.A.
Director of Public Works and Facilities
City of Southaven, Mississippi

Re: Southaven Police Department Generator

Dear Bradley:

We appreciate the opportunity to provide you with an electrical engineering proposal for the above referenced project. Our understanding of the scope of work is as follows:

- Provide a design to utilize your existing emergency generator system and adapt it to serve the entire facility. This includes the study that we performed to determine the feasibility of serving the entire facility from the existing generator.
- Electrical specifications will be included in the drawing set.
- We will provide one set of signed/sealed drawings in electronic (PDF) format.

We propose to provide these services for a **lump sum of \$15,000.00**. We can provide additional construction administration services per our standard hourly rates.

If you have any questions, please do not hesitate to give us a call.

Sincerely,
Canup Engineering, Inc.



David E. Canup, P.E.

*Agreed to proceed as noted above
3-24-22.*



**RESOLUTION OF THE MAYOR AND BOARD OF ALDERMEN OF THE
CITY OF SOUTHAVEN, MISSISSIPPI
DECLARING SURPLUS PROPERTY**

WHEREAS, the City of Southaven ("City") Police Department, via City Court Order, is presently in possession of certain firearms as set forth in Exhibit A (collectively "the Property") and said Court Order, included in Exhibit A, allows for City to surplus property in accordance with Mississippi Code 17-25-25 as allowed by the Mississippi Attorney General Opinion issued to Nick Manley on behalf of the City dated February 3, 2017; and

WHEREAS, pursuant to Mississippi Code 17-25-25, it has been recommended by the City Police to the Mayor and Board of Aldermen that the Property be declared as surplus and sold and/or disposed of as appropriate and in accordance with Mississippi Code 17-25-25; and

WHEREAS, the Mayor and Board of Aldermen are desirous of disposing of the Property and it being surplusd in accordance with Mississippi Code 17-25-25; and

NOW, THEREFORE, BE IT ORDERED by the Mayor and Board of Aldermen of the City of Southaven, Mississippi as follows, to wit:

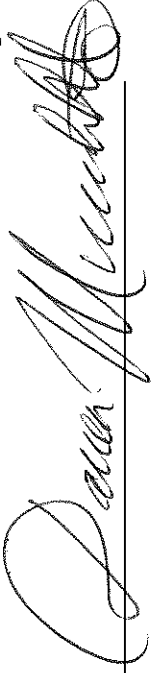
1. The Property be hereby declared as surplus property.
2. The City Police Chief, or his designee, is hereby authorized and directed to follow Mississippi Code 17-25-25 for the disposition of the Property.

Motion was made by Alderman Wheeler and seconded by Alderman Payne, for the adoption of the above and foregoing Resolution, and the question being put to a roll call vote, the result was as follows:

ALDERMAN	VOTED
Alderman Jerome	YES
Alderman Kelly	YES
Alderman Hoots	YES
Alderman Payne	YES
Alderman Gallagher	YES

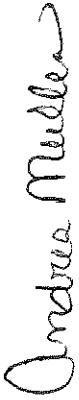
Alderman Wheeler	YES
Alderman Flores	YES

RESOLVED AND DONE, this 22nd of March, 2022.

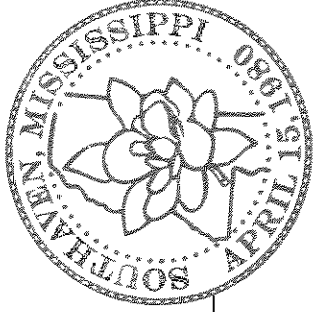


Darren Musselwhite, MAYOR

ATTEST:



CITY CLERK





INTEROFFICE MEMORANDUM

From: Officer Todd Baggett
To: Chief Macon Moore
Date: March 16th 2022
RE: List of firearms to be declared surplus

Sir,

The following listed firearms are no longer of use by the Southaven Police Department. In accordance with City of Southaven Policy and Procedure I respectfully request that these items be declared surplus property. The firearms will then be sold as a lot to the highest bidder.

Primary Case #	Item #	Make	Model	Caliber	Serial Number	Type
200423584	1	NORTH AMERICAN ARMS	NAA22	22	E038103	REVOLVER
200624008	1	SIG SAUER	P229	.40	AC17019	PISTOL
2009000423	1	SPRINGFIELD ARMORY	XD45	.45 CAL	US606817	PISTOL
201100001928	1	GLOCK	19	9MM	EFW187US	PISTOL
201500010536	1	SARSILMAZ (SAR ARMS)	SARK2P	9MM	T1102-13C01219	PISTOL
201500044876	1	TAURUS	PT840	.40	GFY40665	PISTOL
201600014407	2	FIE	T18	.22	9199	ROVOLVER
201600020204	1	WEIHRACH, HERMANN	UNKNOWN	.22	1229343	REVOLVER
201600020954	1	TAURUS	PT111 G2	9MM	TGZ59624	PISTOL
201600020954	2	RAVEN ARMS	MP25	.25	1257324	PISTOL
201600033526	2	NORTH AMERICAN ARMS	GRIZZLY	.22	L181815	PISTOL
201600044539	1	WALTHER	PPX	9MM	FAQ8951	PISTOL
201600057361	2	GLOCK	27GEN4	40 CAL.	BBMS446	PISTOL
201700001097	1	GLOCK	21	.45 CAL	HNP386	PISTOL

201700004784	2	LORCIN ENGINEERING	L9	9MM	L042631	PISTOL
201700007244	1	BRYCO ARMS	J22	.22	699391	PISTOL
201700008677	2	RUGER	SR9C	9MM	332-52760	PISTOL
201700009165	3	RUGER	P95	9MM	317-27617	PISTOL
201700011542	3	S & W	SD9VE	9MM	FXS4711	PISTOL
201700016054	1	CHARTER ARMS	UNDERCOVER	.38	208700	REVOLVER
201700016521	1	LORCIN ENGINEERING	L25	.25 CAL	302971	PISTOL
201700021314	3	S & W	SW40VE	.40	DWM0708	PISTOL
201700021437	1	BERETTA, PIETRO	92	9MM	E15863Z	PISTOL
201700022509	1	DAVIS INDUSTRIES	P380	.380	AP190075	PISTOL
201800020110	7	TANFOGLIO	WITNESS-P	9MM	MT26912	PISTOL
201800021474	6	FN HERSTAL	FIVE-SEVEN	5.7 X 28	386311743	PISTOL
201800022479	6	FIE	T18	.22	B19877	REVOLVER
201800024861	4	HS PRODUCTS	XDS	45 CAL	S3220265	PISTOL
201800025467	4	S & W	UNKNOWN	38	48439	REVOLVER
201800028502	3	TAURUS	PT111 MILLENNIUM G2	9MM	TKU34565	PISTOL
201800029303	1	FIE	TITAN	.25	A27866	PISTOL
201800029587	6	S & W	36	.38	671975	REVOLVER
201800034420	2	TAURUS	PT911	9MM	TVK01286	PISTOL
201800040202	1	IBERIA FIREARMS	JCP	.40	X766124	PISTOL
201700041325	1	TAURUS	PT92AFS	9MM	THP31783	PISTOL
201800046698	3	TAURUS	PT145 PRO	45	NDP09150	PISTOL
201800048207	1	RAVEN ARMS	MP25	.25	1392017	PISTOL
201800056498	1	BRYCO ARMS	J22	.22	661975	PISTOL
201800061803	3	ROHM	RG10	.22	660710	REVOLVER
201900002148	1	SCCY	CPX-2	9MM	362748	PISTOL
201900004518	4	RUGER	LCP II	.380	380086428	PISTOL
201900005202	1	RAVEN ARMS	MP25	25	1469959	PISTOL
201900005822	3	TAURUS	PT111 MILLENNIUM G2	9MM	TJO49642	PISTOL
201900006386	2	RUGER	SECURITY 9	9MM	381-05097	PISTOL
201900008362	4	SMITH & WESSON	SW9VE	9MM	PDY1275	PISTOL
201900009514	3	ROHM		.22 CAL	400298	REVOLVER

201900010610	2	COBRA	CA380	.380	CP085622	PISTOL
201900010080	6	GLOCK	34 GEN 4	9MM	WLN194	PISTOL
201900011278	3	SPRINGFIELD ARMORY	XDE	9MM	HE917640	PISTOL
201900016976	2	TAURUS	G2C	9MM	TLX45579	PISTOL
201900020241	1	TAURUS	G2C	9MM	TLX40891	PISTOL
201900021786	2	TAURUS	G2C	9MM	TMA16981	PISTOL
201900027451	1	S & W	19	.357	56K9533	REVOLVER
201900028497	2	CLERKE	CLERKE 1 ST	.32	116387	REVOLVER
201900030359	1	JIMENEZ ARMS	J.A. NINE	9MM	100725	PISTOL
201900030807	3	GLOCK	30 GEN 4	.45 CAL	BBUN413	PISTOL
202000010916	1	S & W	SD40VE	.40	FBI9531	PISTOL

Thank You,

Todd Baggett 1345
Officer Todd Baggett

**Crime Scene / Property & Evidence
Southaven Police Department**



AIA Document G701™ - 2017

Change Order

PROJECT: (Name and address) Snowden Grove Amphitheater Improvements 6285 Snowden Lane Southaven, MS 38672	CONTRACT INFORMATION: Contract For: Improvements Date: December 15, 2021	CHANGE ORDER INFORMATION: Change Order Number: 001 Date: March 15, 2022
OWNER: (Name and address) City of Southaven 8710 Northwest Drive Southaven, MS 38671	ARCHITECT: (Name and address) UrbanArch Associates 498 South Main Memphis, TN 38103	CONTRACTOR: (Name and address) Murphy & Sons, Inc. PO Box 492 9148 Corporate Drive Southaven, MS 38671

THE CONTRACT IS CHANGED AS FOLLOWS:

(Insert a detailed description of the change and, if applicable, attach or reference specific exhibits. Also include agreed upon adjustments attributable to executed Construction Change Directives.)

PCO No.: 004 \$577,519.96

The original Contract Sum was

The net change by previously authorized Change Orders

The Contract Sum prior to this Change Order was

The Contract Sum will be increased by this Change Order in the amount of

The new Contract Sum including this Change Order will be

The Contract Time will be increased by ten (10) days.

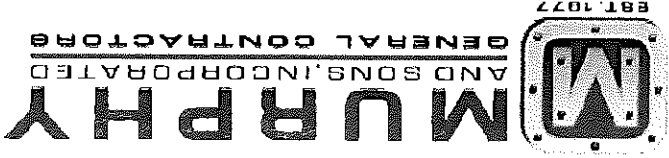
The new date of Substantial Completion will be changed

\$	9,894,039.00
\$	0.00
\$	9,894,039.00
\$	451,741.49
\$	10,345,780.49

NOTE: This Change Order does not include adjustments to the Contract Sum or Guaranteed Maximum Price, or the Contract Time, that have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

UrbanArch Associates ARCHITECT (Firm name)  SIGNATURE	Murphy & Sons, Inc. CONTRACTOR (Firm name)  SIGNATURE	City of Southaven OWNER (Firm name)  SIGNATURE
Will Tonos PRINTED NAME AND TITLE 3/24/2022 DATE	David G. Murphy, President PRINTED NAME AND TITLE March 15, 2022 DATE	Darren Musselwhite, Mayor PRINTED NAME AND TITLE 3-24-22 DATE



POTENTIAL CHANGE ORDER (PCO)
 9148 Corporate Drive (P.O. Box 492)
 Southaven, Mississippi 38671
 P (662) 393-3130 / F (662) 393-8111

Date: March 15, 2022
 Project No: 21878
 PCO. No.: 004
 To: Urban Arch
 Project: Snowden Grove Amp Reno
 6285 Snowden Lane
 Southaven, MS 38671
 From: Wes Hutcheson

SCOPE OF WORK REQUEST

Scope of work is for providing and installing new seats within the lower bowl area, which is not inclusive of the contract. Scope will include demo and haul off of existing seats, patch work of concrete, and providing and installing new seats to match the new seats included in the contract.

Item Description	Qty.	Unit	U.P.	Total	U.P.	Total	U.P.	Total	Equipment	Sub	Total
Additive work											
New Irwin seats for lower bowl	3285	each	\$0.00	\$0.00	\$110.43	\$362,762.55	\$0.00	\$0.00	\$0.00	\$0.00	\$362,762.55
Demo of existing seats, haul off	3285	each	\$8.14	\$26,739.90	\$0.00	\$0.00	\$0.24	\$788.40	\$9,305.00	\$0.00	\$36,833.30
Patch of existing chair holes	3285	lpsm	\$1.88	\$6,175.80	\$0.26	\$854.10	\$0.06	\$197.10	\$0.00	\$0.00	\$7,227.00
Dumpster for new seat box - trash	8	each	\$0.00	\$0.00	\$0.00	\$0.00	\$365.00	\$2,920.00	\$0.00	\$0.00	\$2,920.00
	1	lpsm	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
	1	lpsm	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Subtotal				\$32,915.70		\$363,616.65		\$3,905.50	\$9,305.00		\$409,742.85
Deductive Work											
	0	lpsm	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Subtotal											\$0.00
Add-ons											
Bond, Insurance, MPC	5.00%										\$20,487.14
MSI Profit	5.00%										\$21,511.50

AGREEMENT

I/We agree to the following price and conditions contained herein.

Approved By: (Name & Title) _____ Date _____
 Change Order Request Total: \$451,741.49
 Contract Time Extension Days: 10

Notes:
 1) All line items shall be broken down by quantity times unit price for labor, materials and equipment separately.
 2) All subcontractor proposals for work shall be on subcontractor's letterhead showing break down of labor, materials and equipment separately.



Additional Seating Proposal

Valid for 60 Days



DATE: Tuesday, March 15, 2022

TO: Mr. Wes Hutcheson
Murphy and Sons, Inc.

REFERENCE: Snowden Grove Amphitheatre - Replacement Seating
Southaven, MS

We are pleased to offer the following proposal for Irwin Seating Company products.

3,285 Irwin Seating Company Solara Outdoor Fixed Audience Seating.
Model 115.115.25.25, with the following components, options,
accessories and outdoor finishes:

No. 115.115 Solara Chair - Non-upholstered, injection molded
polypropylene seats and backs.
Solara horizontal aluminum chair rail with floor mounted galvanized rail
support pedestals.

Open aisle armrest at aisle locations.

Single integrated composite armrests between chairs.

Solara chair and row designation plates.

Transfer armrests at aisle locations as required by ADA.

Rear mounted cupholder for Solara or armrest mounted at front row
locations.

Galvanized finish on rail support pedestals.

Irwin standard black chair frame, armrests, cup holders

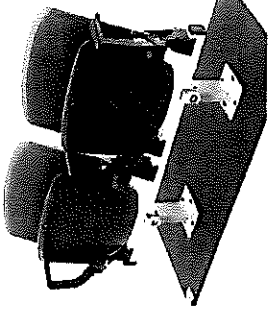
Irwin standard color (15 choices) for chair seats and chair backs

Hilti stainless steel mechanical anchors.

Freight

Installation - complete via open shop labor.

Dumpster for packaging provided by GC for our use.



Pricing Summary			
QTY	DESCRIPTION	NET	EXTENDED
3,285	Solara Chairs as Per Above for GA Seats:	\$ 110.43	\$ 362,762.65

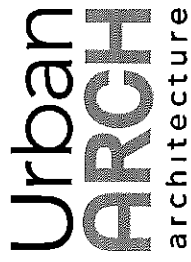
Total Base Bid - Delivered & Installed - Excluding \$ 362,762.55
All Taxes:

IMPORTANT NOTES - PLEASE READ

- Pricing excludes all taxes. Contractor must provide Irwin executed MPC (material purchase certificate)
- Irwin Seating Company is properly licensed as required for sub-contractors. MS License # 12695-SC
- All offered products are MANUFACTURED IN USA.

Les Lundberg
Regional Sales Manager
770-331-4661 les.lundberg@irwinseating.com

Spence Benedict
Director of Sales
616-574-7341 spence.benedict@irwinseating.com



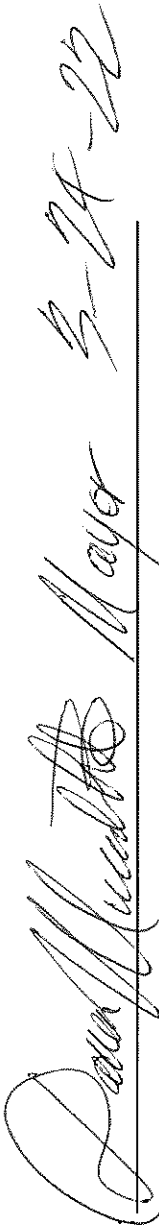
task order 20a - Supplement

To: Darren Musselwhite, Mayor - City of Southaven
From: Brian Bullard, AIA, Principal - UrbanARCH Associates
Date: 03-17-2022

Re: UA/Southaven Parks Agreement - Task Order 20 (Supplement A – Lower Bowl Seat Replacement)
(BankPlus Amphitheater Improvements and Expansion – Construction Admin. Services)

This Task Order 20a establishes a project-specific task for adding the lower seat bowl seat replacement to the project construction administration services.

The cost of the work was estimated as 1.5% of the General Contractor's proposed Change Order of \$451,741.49 (and rounded down to the nearest ten-dollar mark). Therefore, this work shall not exceed \$6,770.00 and brings task order 20 to **\$155,180.00** (lump sum) in fees, not inclusive of reimbursable expenses. Reimbursable expenses shall be invoiced direct plus 5% as agreed in umbrella contract.

Authorization:  Mayor 3-24-22

Name	Title	Date
------	-------	------

**RESOLUTION OF THE MAYOR AND BOARD OF ALDERMEN OF THE
CITY OF SOUTHAVEN, MISSISSIPPI FOR DONATION TO THE
DESOTO COUNTY ECONOMIC DEVELOPMENT COUNCIL
SALUTE TO INDUSTRY**

WHEREAS, the City of Southaven ("City"), pursuant to Mississippi Code Section 21-19-44 and Local and Private Legislation Chapter 938 HB 1618, desires to make a donation to the Desoto County Economic Development Council Salute to Industry ("Council") for the purpose of promoting the Council and promoting the City; and

WHEREAS, the City desires to donate the Seven Hundred Dollars and 00/100 (\$700.00) to further those purposes previously set forth.

**NOW, THEREFORE, BE IT RESOLVED BY THE GOVERNING BODY,
ACTING FOR AND ON BEHALF OF THE CITY, AS FOLLOWS:**

SECTION 1. Pursuant to Mississippi Code 21-19-44 and Local and Private Legislation Chapter 938 HB 1618, the Governing Body of the City hereby donates \$700.00 to the Council for the purpose of promoting the Council and promoting the City.

SECTION 2. On behalf of the City, the Mayor or his designee is authorized to take all actions to effectuate the intent of this Resolution.

Following the reading of the foregoing resolution, Alderman Flores made the motion to adopt the Resolution and Alderman Payne seconded the motion for its adoption. The Mayor put the question to a roll call vote and the result was as follows:

ALDERMAN	VOTED
Alderman Jerome	YES
Alderman Kelly	YES
Alderman Hoots	YES
Alderman Payne	YES
Alderman Gallagher	YES
Alderman Wheeler	YES
Alderman Flores	YES

RESOLVED AND DONE, this 22nd day of March, 2022.


DARREN MUSSELWHITE, MAYOR

ATTEST:


CITY CLERK



**RESOLUTION OF THE MAYOR AND BOARD OF ALDERMEN
OF THE CITY OF SOUTHAVEN, MISSISSIPPI TO AMEND FY 2022 BUDGET**

The Mayor and Board of Aldermen of the City of Southaven, Mississippi (the “City”), considered the matter of amending the 2022 City Budget.

WHEREAS, pursuant to Miss. Code 21-35-25, the City desires to amend its 2022 budget; and

WHEREAS, the City Governing Authorities desire to reflect the funds from the bond issuance for the BankPlus Amphitheater improvements and transfer fund from FY21 to FY22 budget to account for insurance and claim payments, along with equipment for City Public Works; and

WHEREAS, the transfer from fund to fund, or from item to item, will not result in the expenditure of any money for a purpose different from that which was budgeted or collected; and

NOW THEREFORE BE IT RESOLVED AS FOLLOWS:

1. The City Board approves the budget amendment as set forth in Exhibit A and authorizes the Mayor or his designee to take any and all actions for such amendment.
2. If required, the City is authorized to publish within two (2) weeks of this action in the same manner as the final adopted budget. This publication shall contain a description of the amendment, the amount of money and funds affected, and a detailed statement explaining the need and purpose of the amendment. The vote of each member of the municipality's governing authority on each amendment shall be included in the publication or posted notice.
3. The Mayor or his designee are authorized to take all actions to further effectuate the intent of this Resolution.

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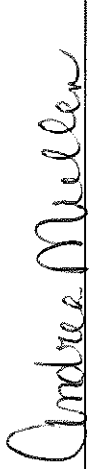
Following the reading of the foregoing Resolution, Alderman Flores made the motion and Alderman Payne seconded the motion for its adoption. The Mayor put the question to a roll call vote, and the result was as follows:

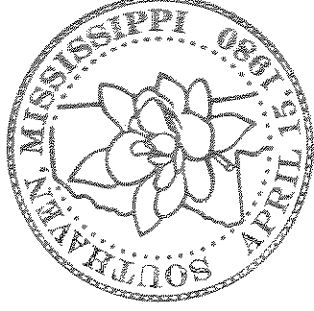
ALDERMAN	VOTED
Alderman Jerome	YES
Alderman Kelly	YES
Alderman Hoots	YES
Alderman Payne	YES
Alderman Gallagher	YES
Alderman Wheeler	YES
Alderman Flores	YES

RESOLVED AND DONE, this ~~the~~ 22nd day of March, 2022


Darren Musselwhite, MAYOR

ATTEST:


Andrea Mullen, CITY CLERK



GARBAGE VEHICLE		Current	Amend	Amended Total
850-630600	VEHICLES	\$ -	\$ 163,174	\$ 163,174
0450-570101	PRIOR YEAR TRANSFER	\$ -	\$ (163,174)	\$ (163,174)
INSURANCE CLAIMS		\$ -	\$ -	\$ -
904-629100	INSURANCE CLAIMS	\$ -	\$ 1,500,000	\$ 1,500,000
0010-570102	PRIOR YEAR TRANSFER	\$ -	\$ (1,500,000)	\$ (1,500,000)
AMPHITHEATER BOND ISSUANCE/EXPENDITURES		\$ -	\$ -	\$ -
711-640900-07002	AMPHITHEATER	\$ -	\$ 10,000,000	\$ 10,000,000
0010-580400	BOND PROCEEDS	\$ -	\$ (10,000,000)	\$ (10,000,000)
		\$ -	\$ -	\$ -

RESOLUTION GRANTING AUTHORITY TO CLEAN PRIVATE PROPERTY

WHEREAS, the governing authorities of the City of Southaven, Mississippi, have received numerous complaints regarding the parcel of land located at the following address, to-wit:

CONDEMNATION ADDRESS

8028 JAMESBROOK

8016 JAMESBROOK

648 Poplar Cove

632 Poplar Cove

to the effect that the said parcel of land has been neglected whereby the grass height is in violation and there exist other unsafe conditions and that the parcel of land in the present condition is deemed to be a menace to the public health and safety of the community.

WHEREAS, pursuant to Section 21-19-11 of the Mississippi Code Annotated (1972), the governing authorities of the City of Southaven, Mississippi, provided the owners of the above described parcel of land with notice of the condition of their respective parcel of land and further provided them with notice of a hearing before the Mayor and Board of Aldermen on Tuesday, March 22, 2022, by United States mail and by posting said notice, to determine whether or not the said parcel of land were in such a state of uncleanness as to be a menace to the public health and safety of the community.

WHEREAS, none of the owners of the above described parcel of land appeared at the meeting of the Mayor and Board of Aldermen on Tuesday, March 22, 2022, to voice objection or to offer a defense.

NOW, THEREFORE, BE IT HEREBY RESOLVED, by the Mayor and Board of Alderman of the City of Southaven, Mississippi, that the above described parcel of land located at:

CONDEMNATION ADDRESS

8028 JAMESBROOK

8016 JAMESBROOK

648 Poplar Cove

632 Poplar Cove

is deemed in the existing condition to be a menace to the public health and safety of the community.

BE IT FURTHER RESOLVED that the City of Southaven shall, if the owners of the above described parcel of land do not do so themselves, immediately proceed to clean the respective parcel of land, by the use of municipal employees or by contract, by cutting weeds and grass and removing rubbish and other debris.

Following the reading of this Resolution, it was introduced by Alderman Payne and seconded by Alderman Kelly. The Resolution was then put to a roll call vote and the results were as follows, to-wit:

ALDERMAN	VOTED
Alderman Jerome	YES
Alderman Kelly	YES
Alderman Hoots	YES
Alderman Payne	YES
Alderman Gallagher	YES
Alderman Wheeler	YES
Alderman Flores	YES

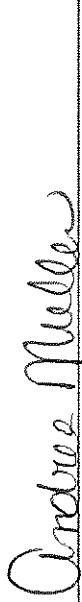
The Resolution, having received a majority vote of all Aldermen present, was declared adopted on this, the 22nd day of **March 2022**.

CITY OF SOUTHAVEN, MISSISSIPPI BY:

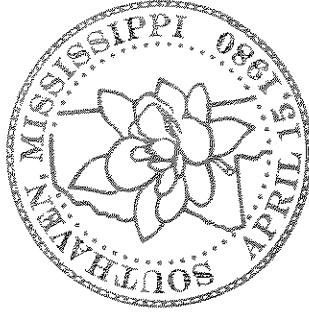


DARREN MUSSELWHITE
MAYOR

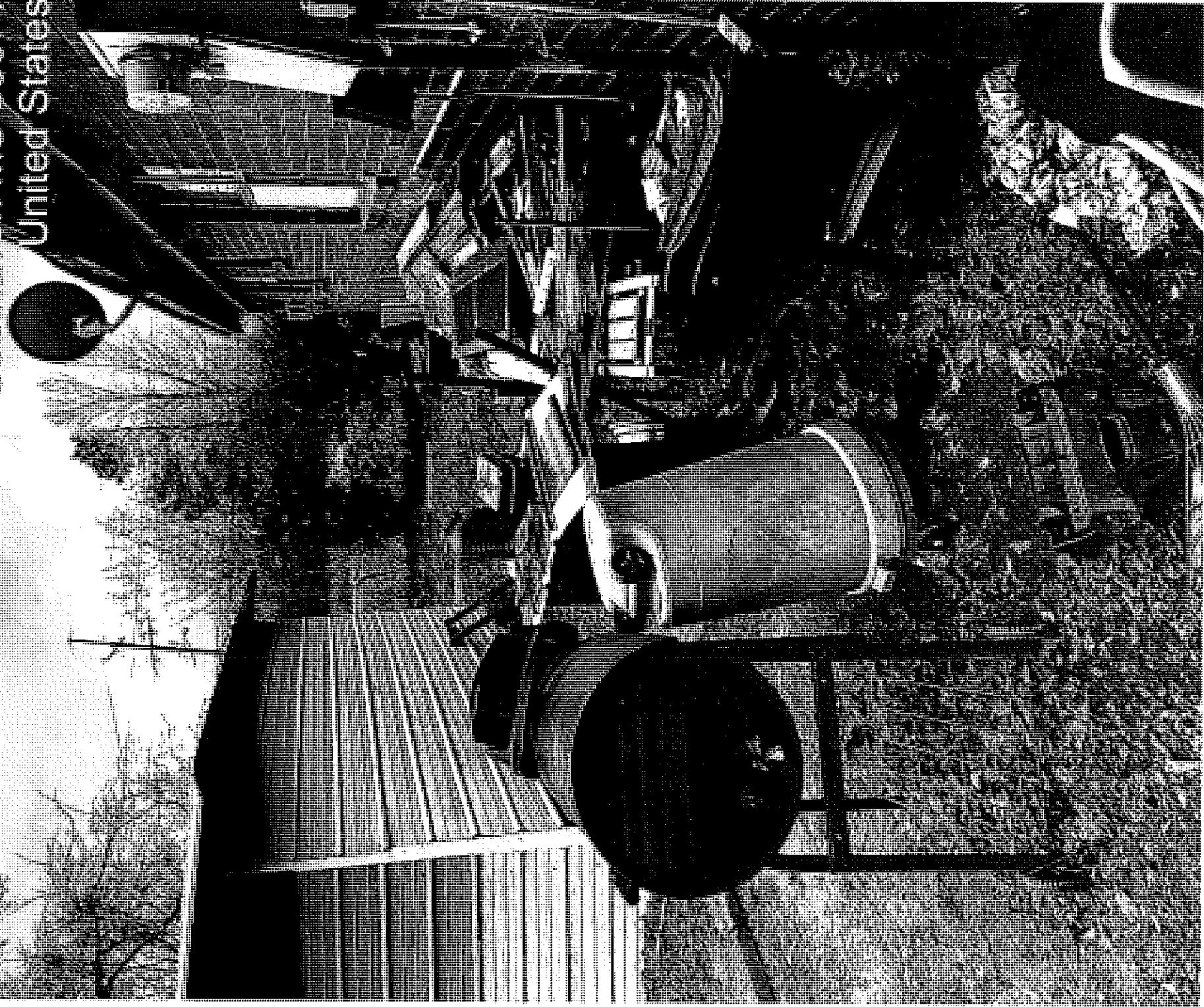
ATTEST:



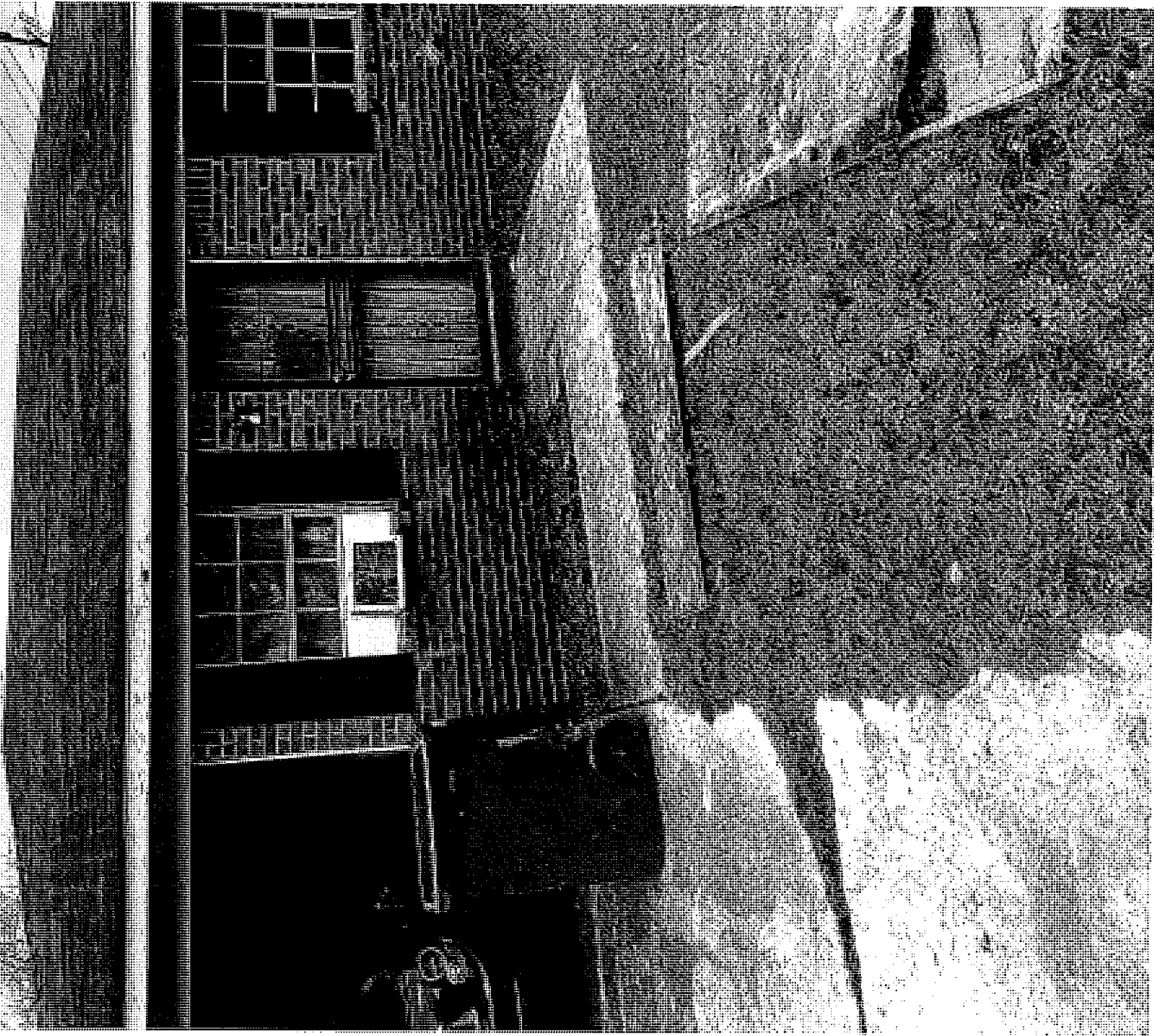
ANDREA MULLEN
CITY CLERK
(SEAL)



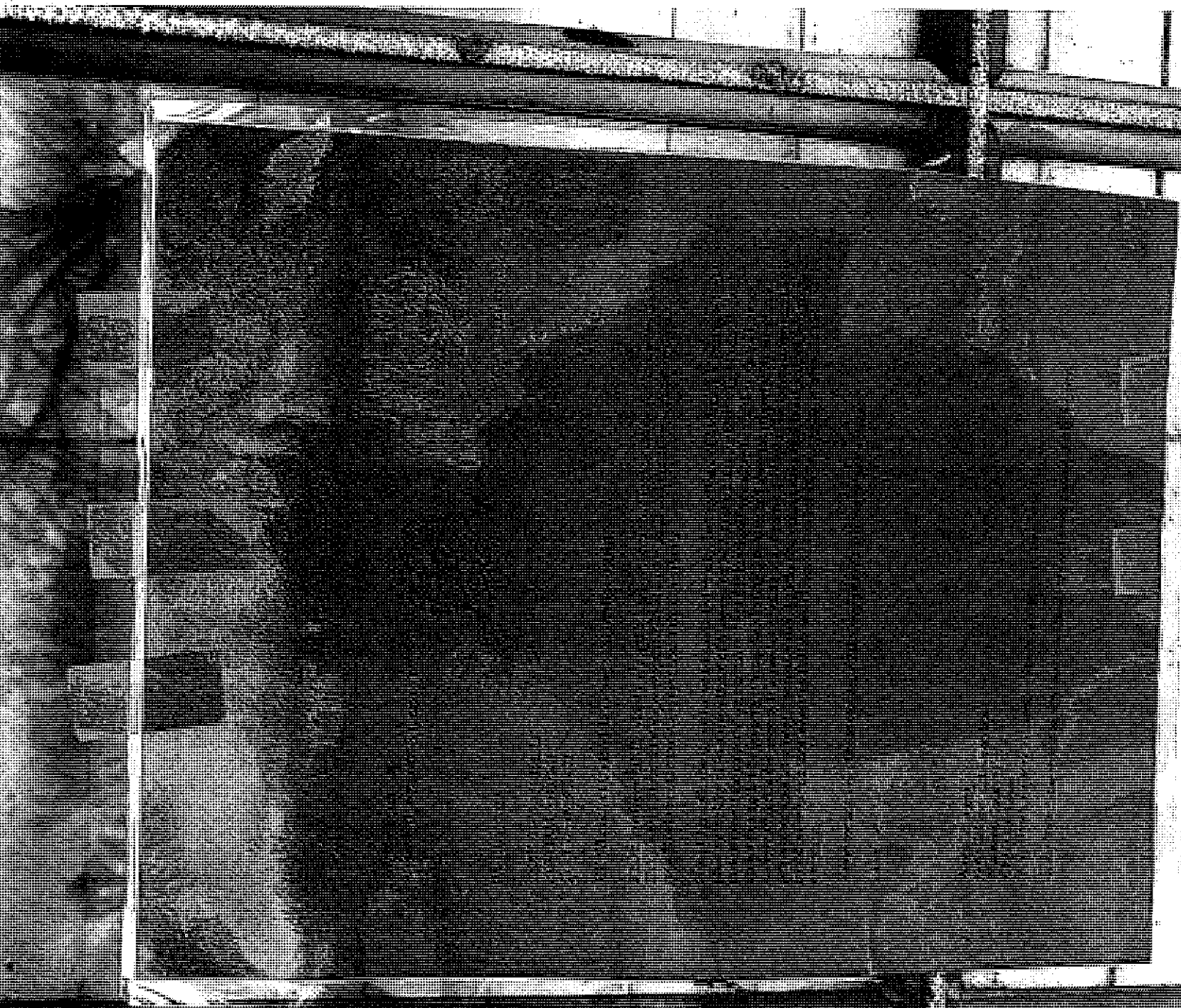
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Southaven MS 38671
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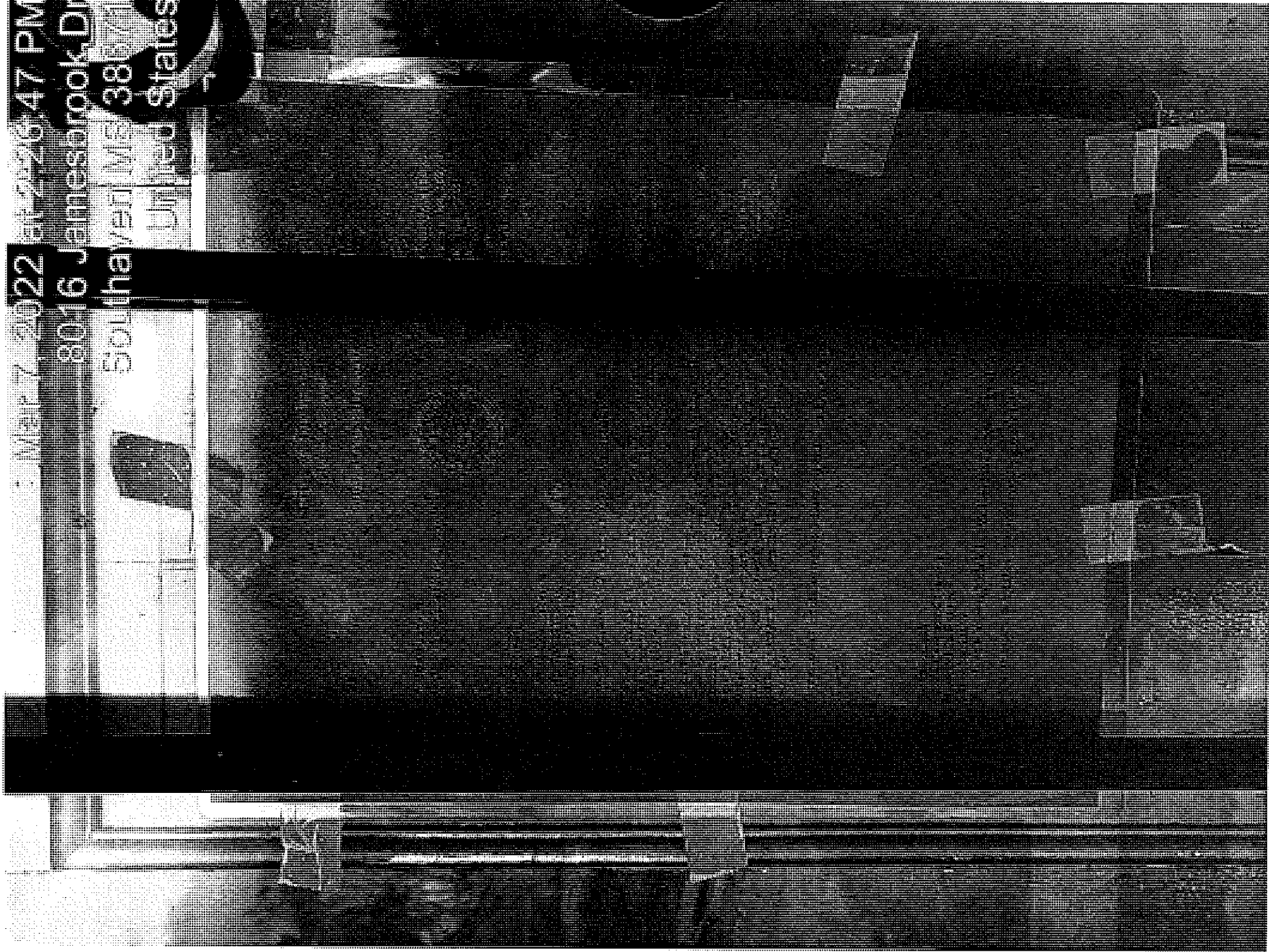
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Southaven MS 38671
United States



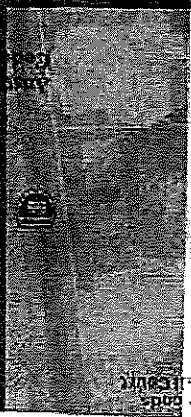
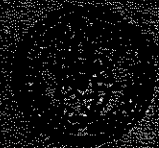
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United States



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Southaven MS 38671
United States

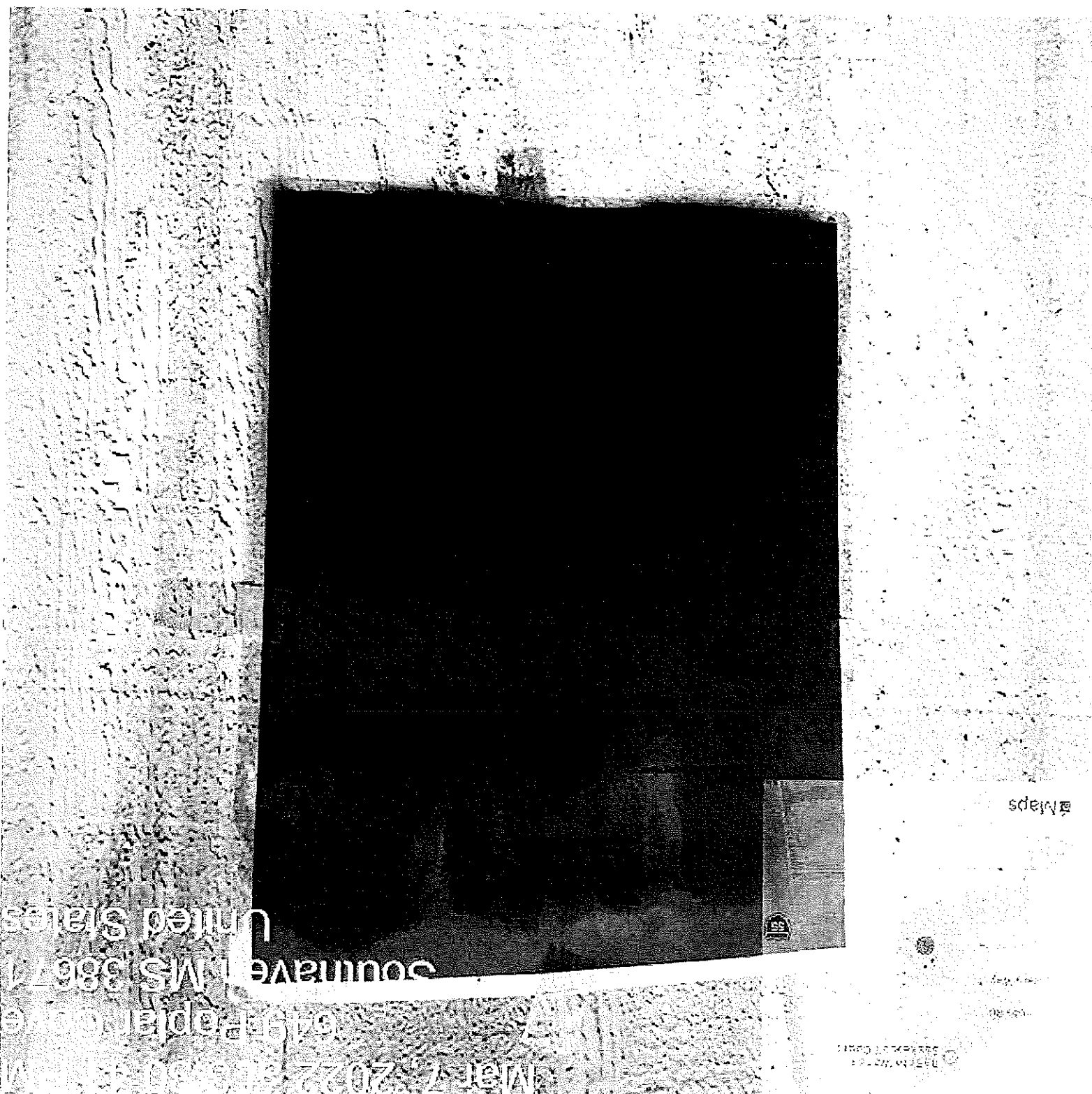


632 Poplar
Southaven MS 3
United S



maps

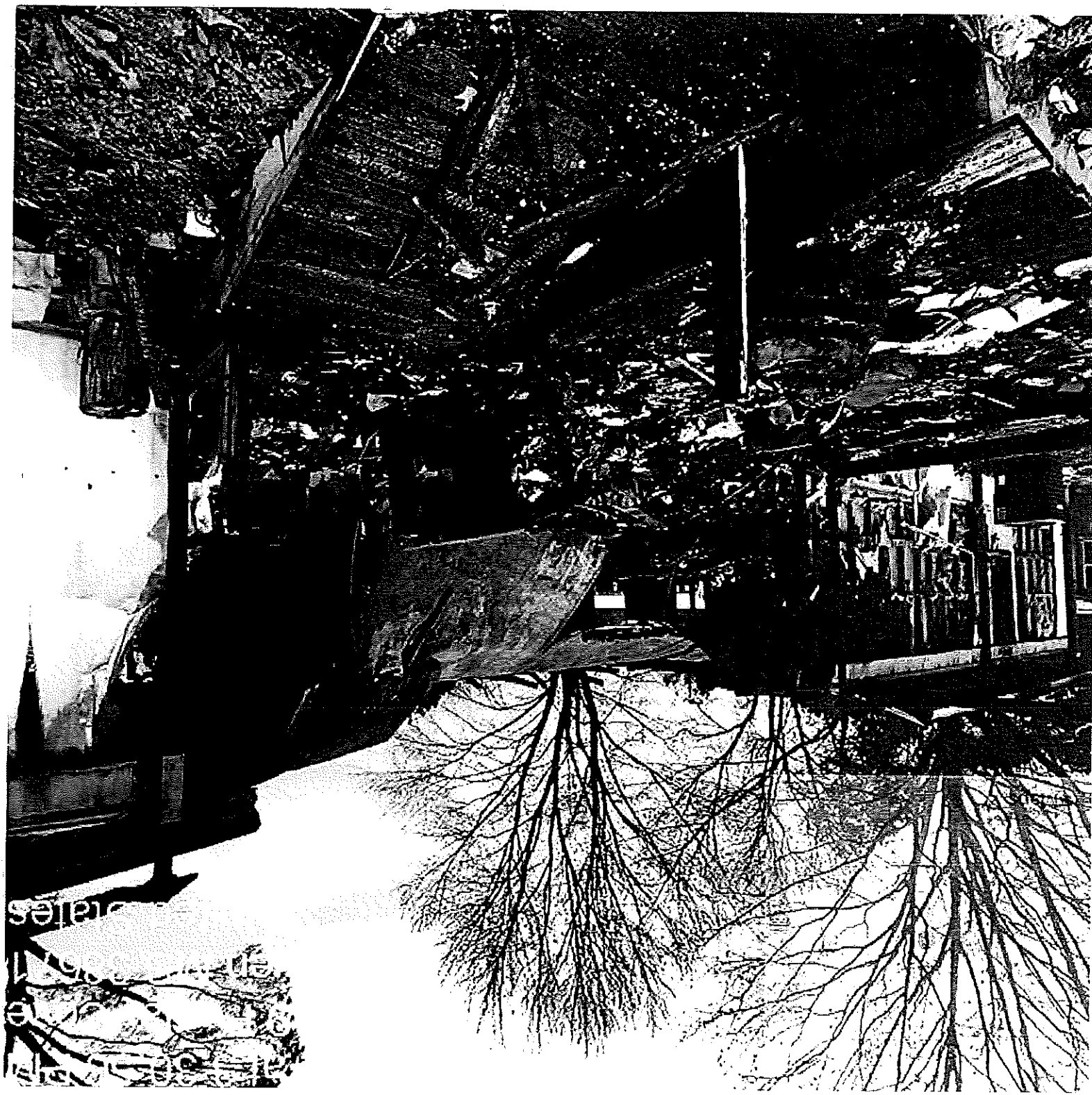




Maps

United States
Countryside MS 38671
049 Paper Cove
Mar 7 2022 01:37 PM
MS 38671

MS 38671
049 Paper Cove





City of Southaven
Office of Planning and Development
Amendment to PUD Staff Report

City of Southaven City Hall
Executive Board Room
8710 Northwest Drive

Date of Hearing:	February 28, 2022
Public Hearing Body:	Planning Commission
Applicant:	Upper Holmes Place LLC 2042 McIngvale Road Hernando, MS 38632
Total Acreage	56.57 acres
Existing Zoning:	Planned Unit Development (Pinewood)
Location of PUD Amendment application:	South side of Stateline Road, between Getwell Road and Tchulahoma Road.
Surrounding property zoning: North: LOW SFR South: MED SFR East: LOW SFR West: LOW and MED SFR	Valley Grove Subdivision Ansley Park and Pinewood South Summerwood Subdivision Residential parcels
Proposed Amendment: (Explain) The applicant is requesting to amend the existing Pinewood Planned Unit Development to revise the overall layout and boundaries of the area as well as establish and define the lot sizes and the proposed heated square footage. Additionally, this amendment proposes proper screening along Stateline Road. The applicant is proposing the following amendments: 1. The lot sizes in Pinewood North will transition from the 10,000 sq. ft. overlay that is present in the existing phases and increase as the lots go north towards Stateline Road. Along the TVA lines there is a single line of 10,500 sq. ft. minimum lots with four common open spaces including two that allow for walkable access to the green space under the TVA lines. Lot 133 COS has an identified cemetery on	

- site and lot 134 is a triangular piece up against Tchulahoma Road. This minimum lot size is also carried along Tchulahoma Road and around the perimeter of the commercial area at Stateline Road and Tchulahoma Road. The lots increase in size on the interior to a minimum of 12,000 sq. ft. and along Stateline Road, the lots increase to 15,000 sq. ft.
2. The applicant has increased the heated square footage minimums from 1,800 sq. ft. to 2,000 sq. ft. for lots above the 10,500 sq. ft.
 3. The open space requirements have been calculated and the needed square footage has been designed in large tracts of land that are useable open space for the subdivision. There are four COS on the interior with two being just under an acre, one being approx. 1.5 acres and a fourth being right at five acres.
 4. Incorporation of a fence line and landscaping along both Stateline Road and Tchulahoma Road.
 5. Submitted elevations shows several carriage load garage concepts which will be used in this phase.

Comprehensive Plan Designation:

Medium Density Residential

Staff Comments:

Staff believes that the applicant has made some positive design revisions for this area which makes it a better transition proposal. The incorporation of larger green space is a great positive for the master plan and allows the spaces to be actually utilized by the residents where in the past designers would place small unusable areas in master designs to get the needed 20%. The PUD text booklet shows good design concept for the park areas including landscaping and fencing. The proposed perimeter fence shown in the booklet mimics the design along Rasco Road for Cherry Hill which is an attractive fence line. The incorporation of more house elevations using the carriage loads is also a benefit and the addition of more design plans helps to diversity the subdivision.

That being said, staff has to take into account the surrounding area and its lot sizes and heated square footages to ensure that whatever type of development is in this location is approved will not negatively affect those properties. Valley Grove Subdivision is located directly north of this area and will be the most impacted. These lots have 1.5+ acre lots platted so the closer a new subdivision comes to this area, it is logical to provide an increase in the lot sizes to help the transition. Per the recorded plat, the minimum heated square footage is set at 2,500 sq. ft.; however, when reviewing the existing homes in this area the average was well over 3,000 sq. ft. with houses ranging in size from 2,500 sq. ft. up to 5,000+ sq. ft. Reviewing this data creates a concern for the city that the proposed transitional design will not be sufficient enough to protect these homes.

In looking at the existing subdivisions in the immediate area, not including Valley Grove, there is an increase in the square footages of the homes as they go north. Central Park's minimum was set at 1,400 sq. ft. when it was approved. Ansley Park and Rutland Pointe had a minimum heated square footage of 1,600 sq. ft. Pinewood South's minimum was set at 1,800 sq. ft. This area being the last vacant property between Pinewood South and Valley Grove would logically meet a minimum somewhere between the 1,800 and 2,500

mark. Per this application, the applicant would like to put an 1,800 sq. ft. minimum on the smaller lots and a 2,000 sq. ft. minimum of the larger ones; however, to carry the existing trend it would allow for a 2,000 sq. ft. on the 15,000 sq. ft. lots and a 2,200-2,300 sq. ft. on the larger lots. It is city recommendation that Pinewood North maintain a minimum 15,000 sq. ft. lot along the perimeter and the TVA lines in place of the proposed 10,500 sq. ft./12,000 sq. ft. and a 20,000 sq. ft. minimum on the interior and along Stateline Road in place of the 15,000 sq. ft..	
Planning Commission Recommendation:	Motion made by: Seconded by:

December 3, 2021

1:9,028
0 0.1 0.2 0.4 mi
0 0.175 0.35 0.7 km



MASTER PLANNED
DEVELOPMENT
PRESENTED BY SOUTHERN PLANNING COMMASSION
[REDACTED]

NORTH



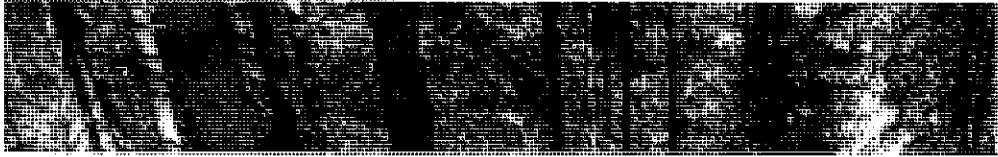
PINE WOOD

PROJECT INTRODUCTION

Pinewood North Planned Development, located on the northern edge of Southaven, is envisioned as a low density, tightly knit residential community characterized by distinctive architecture, well-maintained streetscapes, and meaningful open space. Designed using sensitive planning and traditional neighborhood principals, the development will blend seamlessly with the surrounding landscape, establishing a welcome addition to the area.

Individual homes will be carefully sited on each lot to maximize curbside appeal and minimize automobile and service area components, as directed by recorded covenants and other guiding documents. The developer will dictate architectural flow along each streetscape to ensure a correct visual rhythm of architectural styles, materials and colors. Residents will enjoy convenient access to well-maintained open spaces through a series of connected sidewalks and trails. Common area maintenance and covenant enforcement will be governed by a strong homeowner's association.

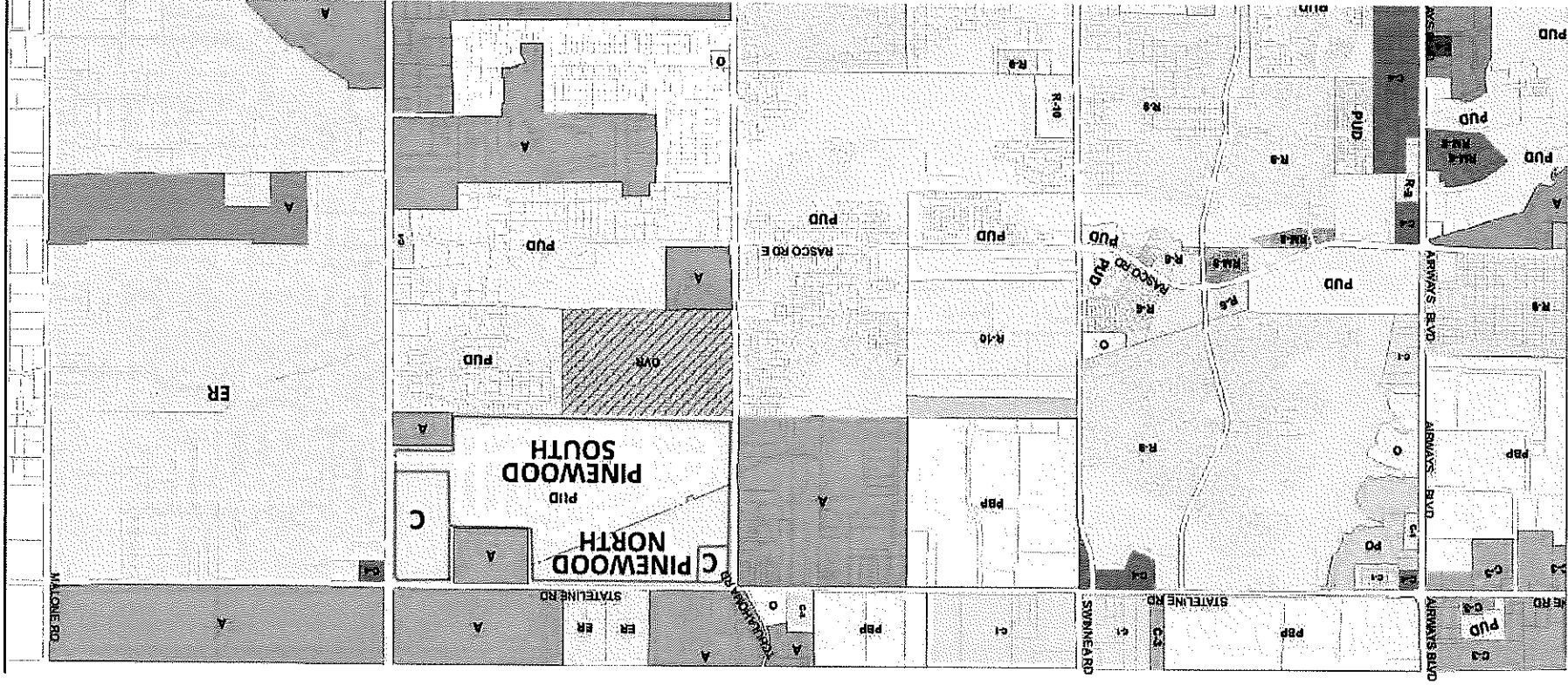
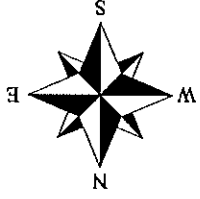
1	Aerial Vicinity Map
2	Existing Zoning
3	Existing Site Conditions
4	Site Plan - Home Size
5	Site Plan - Lot Size
6	Project Phasing
7	Stateline Rd Entry Treatment
8-17	Typical Home Elevation
18-22	P.D. Conditions

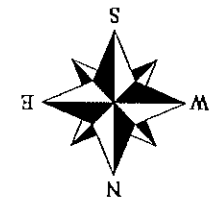


The Reaves Firm
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4000 Poplar Ave, Ste 101 | Memphis, TN 38140
901.761.2016 | www.reavesfirm.com



Pinewood North is located in the PUD zoning district. Lot sizes ranging from 10,000 SF to 14,000 SF and home sizes ranging from 1,800 - 2,000 sq. ft. are located SE within this transitional development.



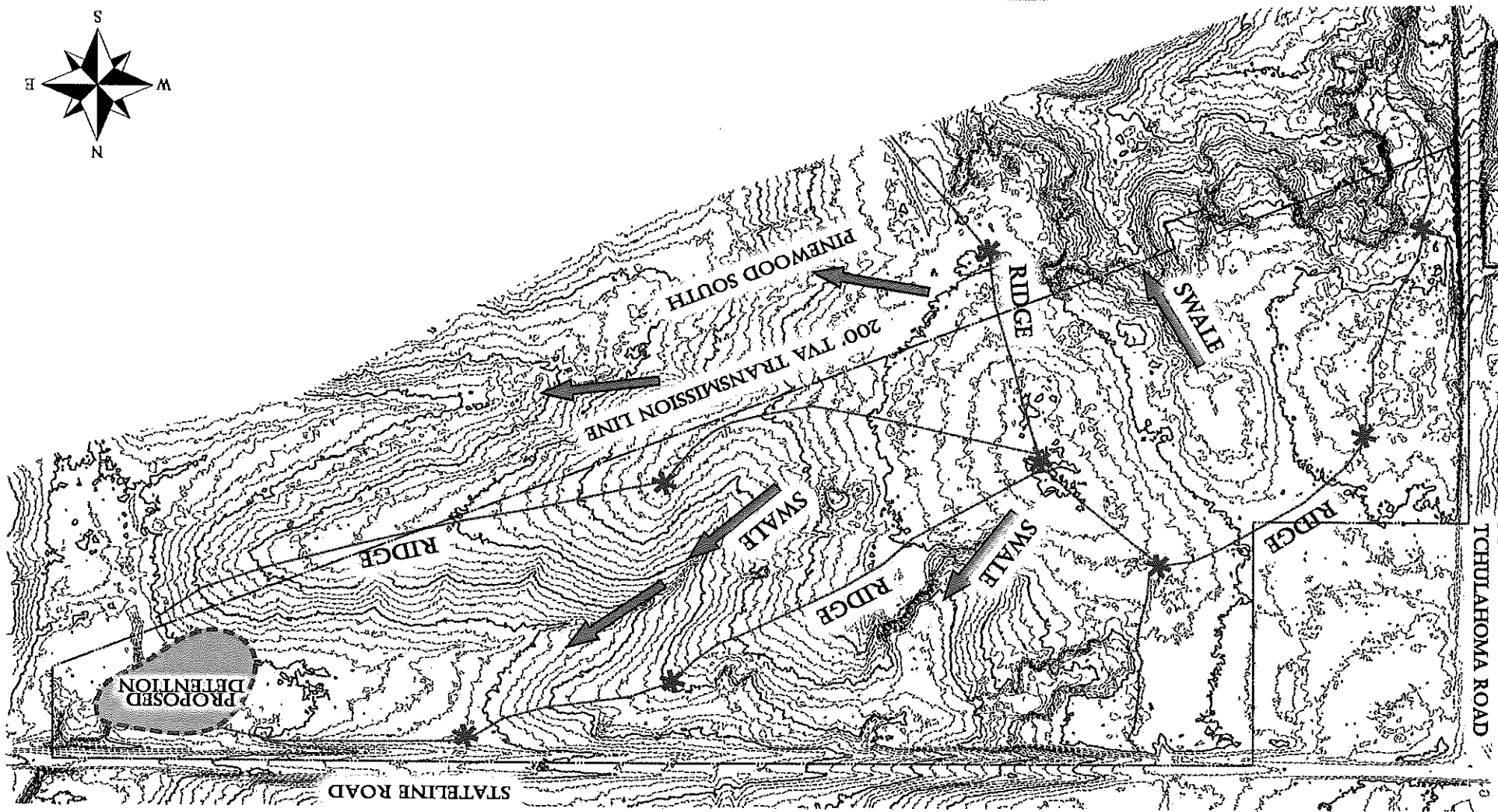


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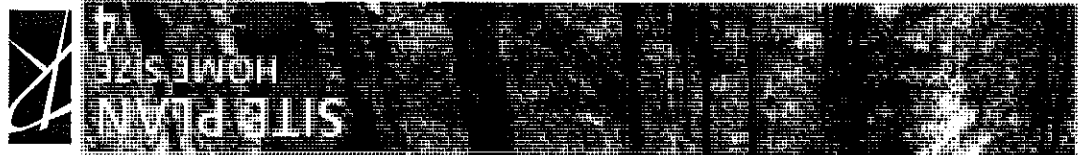


EXISTING SITE CONDITIONS

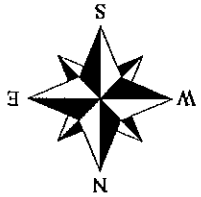
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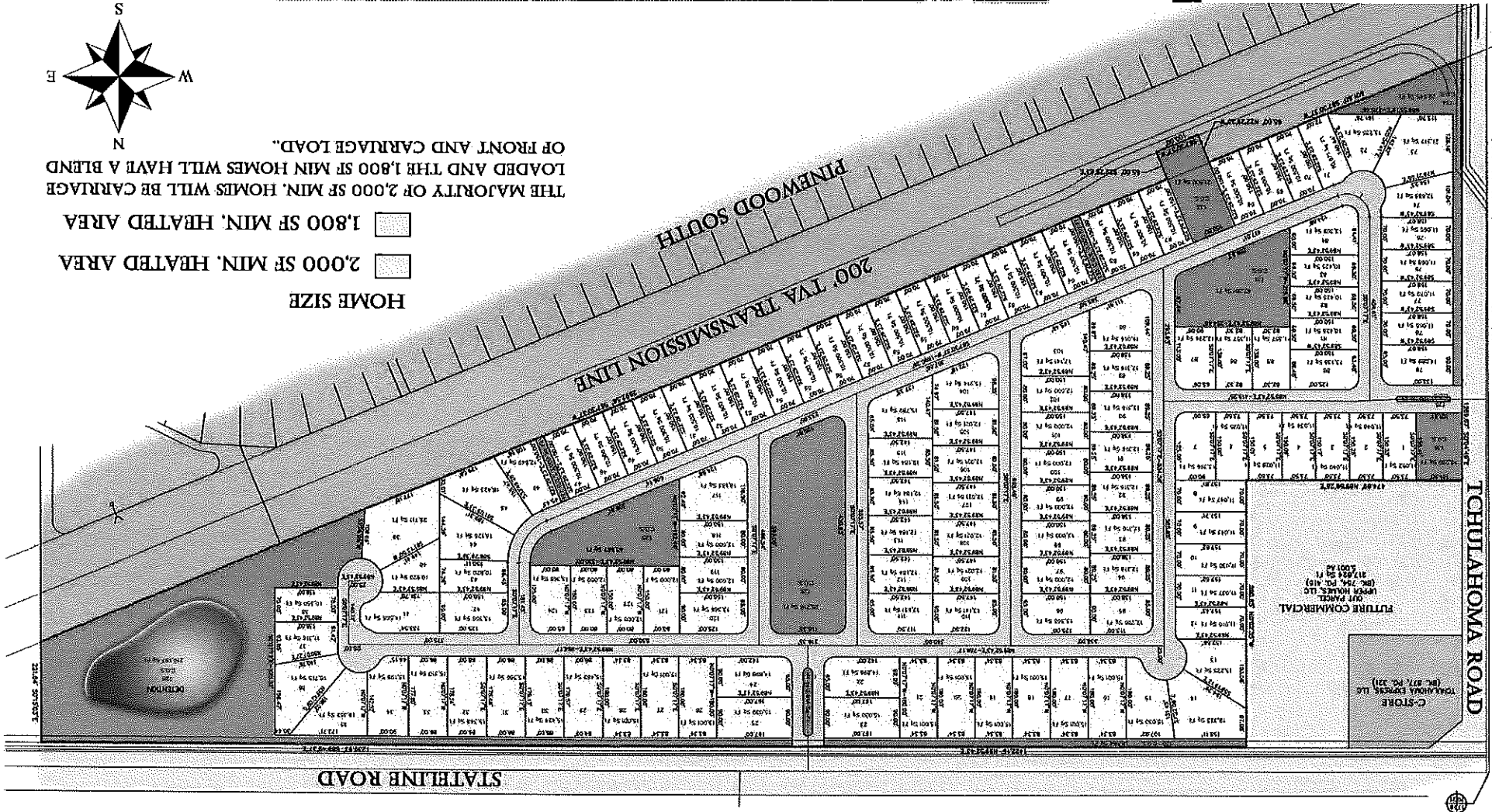
PINE WOOD NORTH



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HOME SIZE
 2,000 SF MIN. HEATED AREA
 1,800 SF MIN. HEATED AREA
 THE MAJORITY OF 2,000 SF MIN. HOMES WILL BE CARRIAGE LOADED AND THE 1,800 SF MIN. HOMES WILL HAVE A BLEND OF FRONT AND CARRIAGE LOAD.



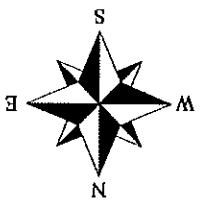
STATE LINE ROAD

I-40/I-240
 ICHULAHOMA ROAD

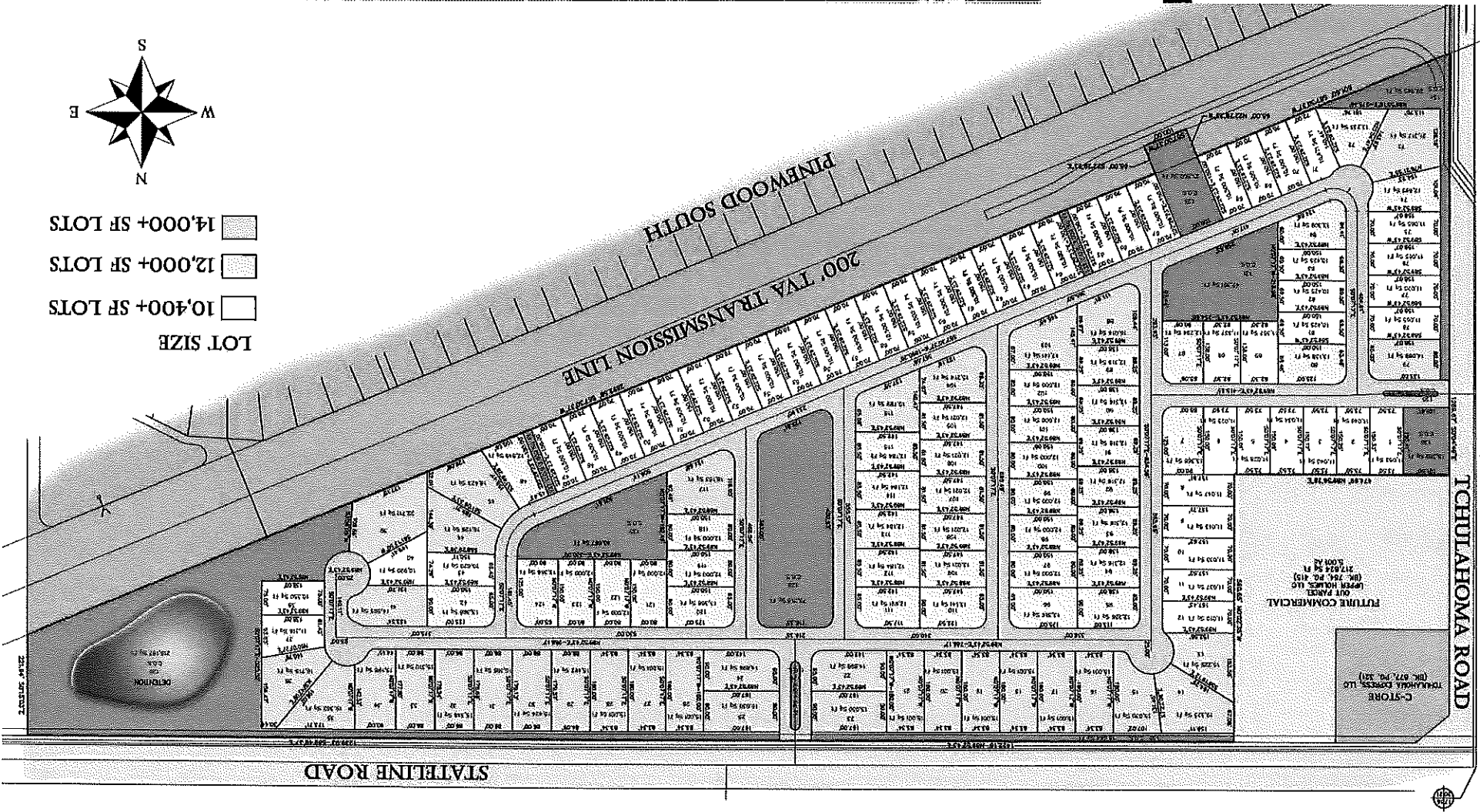
PINE WOOD NORTH



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 901.252.2016 | www.reavesfirm.com

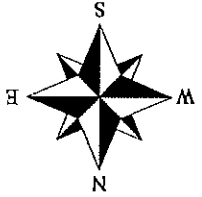


- LOT SIZE**
- 14,000+ SF LOTS
 - 12,000+ SF LOTS
 - 10,400+ SF LOTS



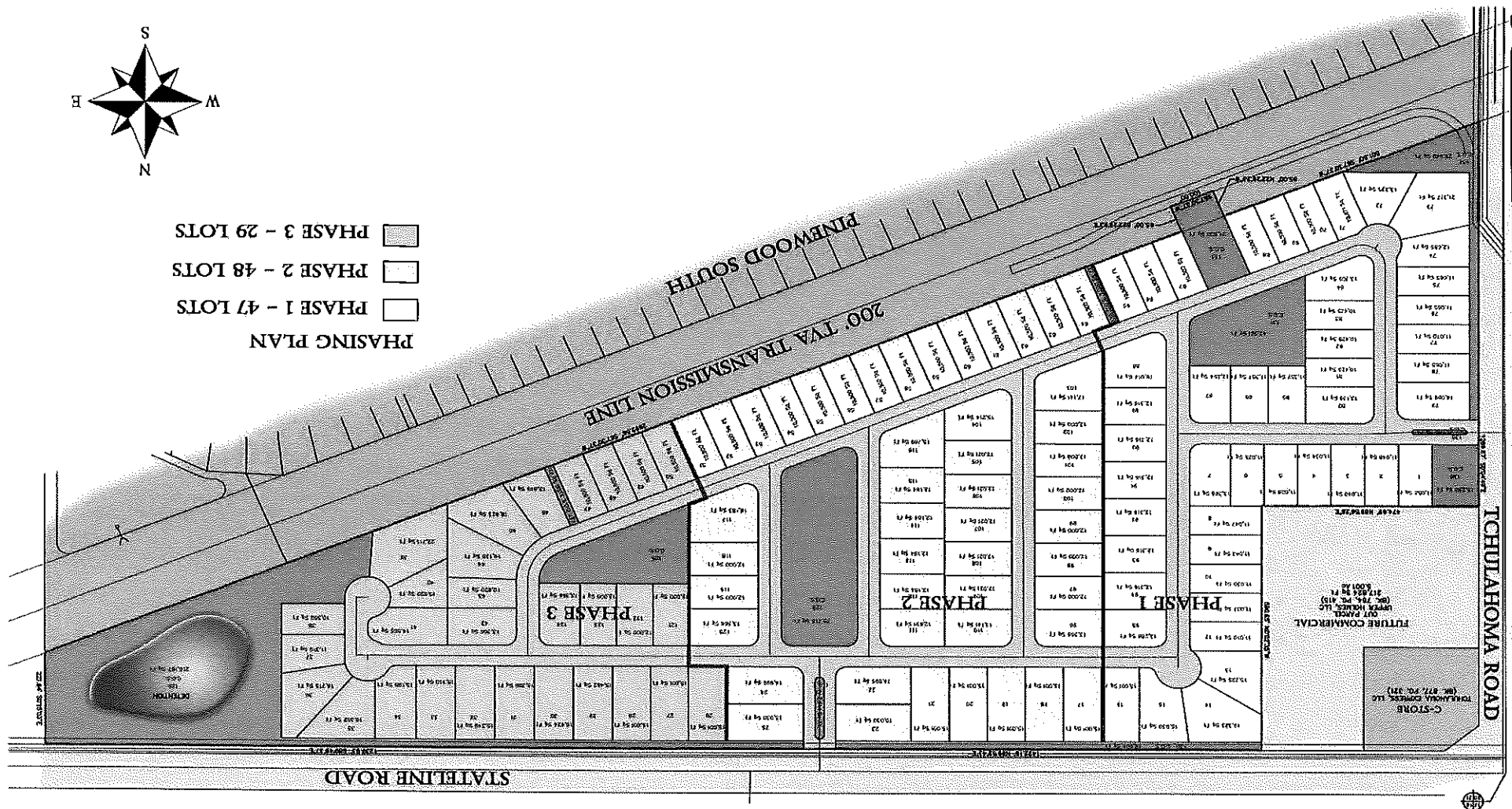


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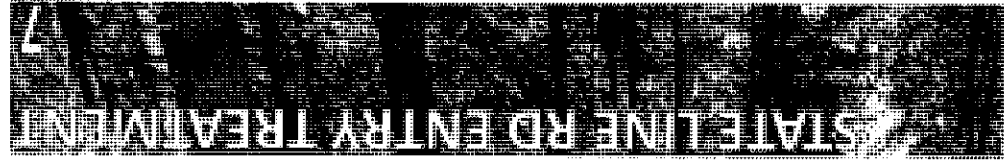


PHASING PLAN

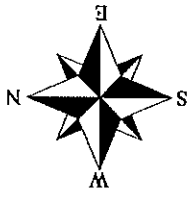
- PHASE 1 - 47 LOTS
- PHASE 2 - 48 LOTS
- PHASE 3 - 29 LOTS



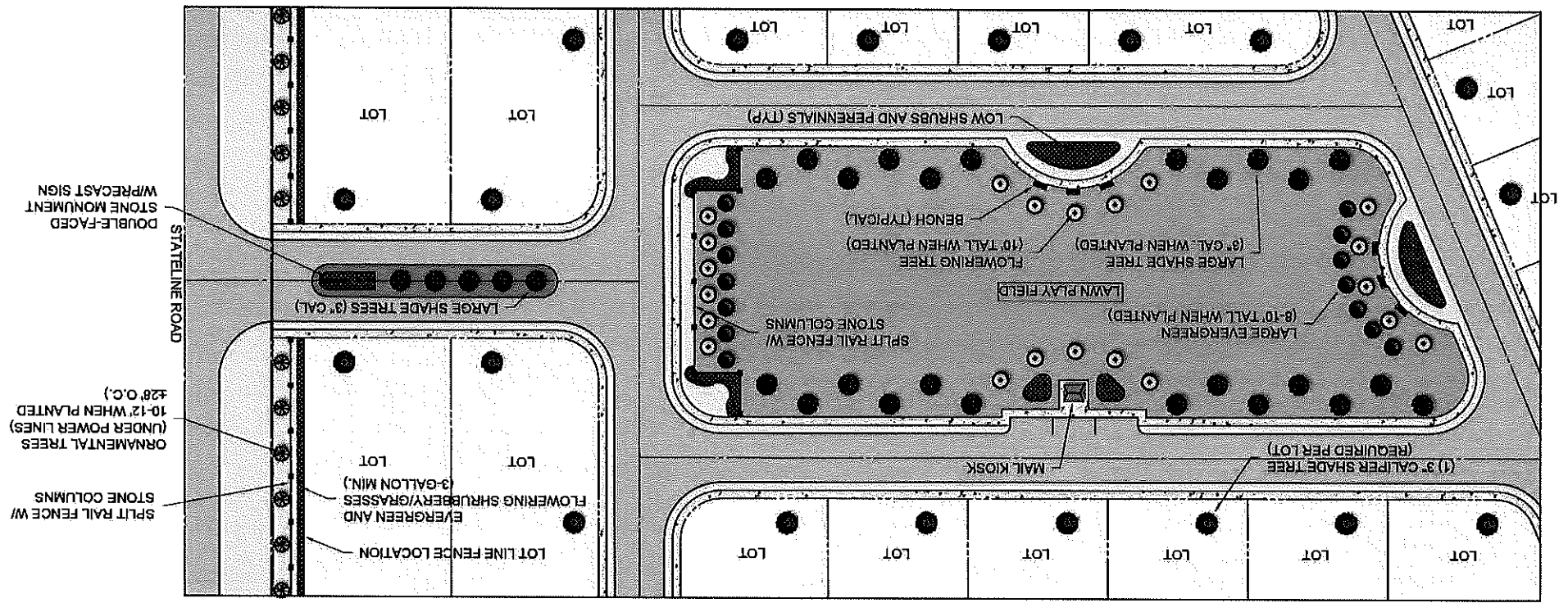
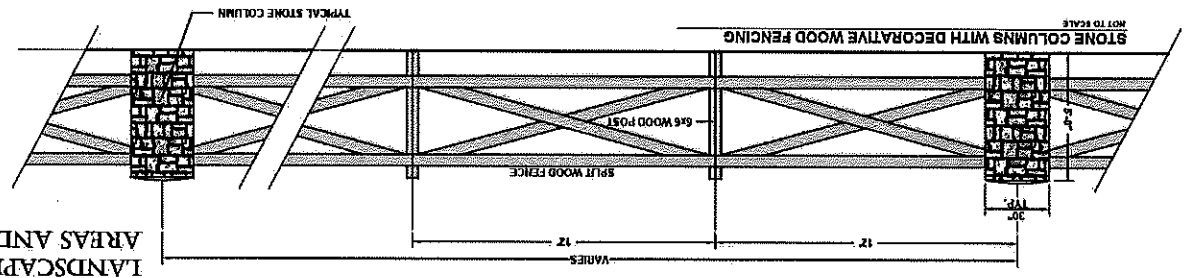
PINE WOOD NORTH



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LANDSCAPE SHOWN IS SIMILAR FOR ALL COMMON AREAS AND FOR TCHULAHOMA ENTRANCE.



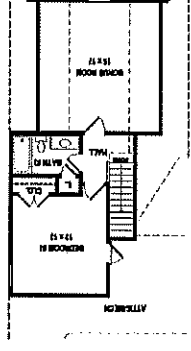


TYPICAL HOME ELEVATION



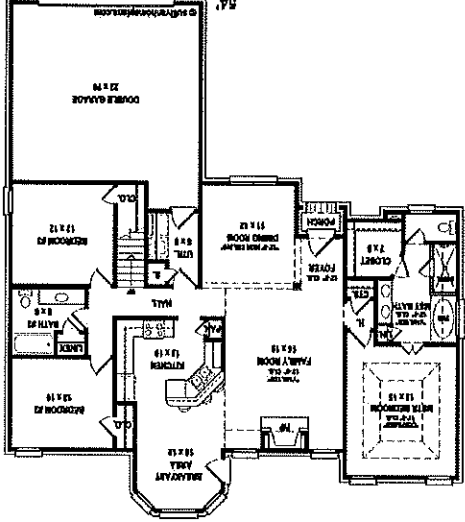
PINE WOOD NORTH

SECOND LEVEL FLOOR PLAN

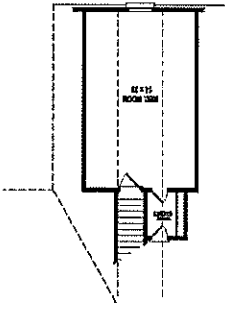


SQUARE FOOTAGE:
1742 Heated Down
564 Heated Up
519 Garage & Storage
17 Front Porch
2306 Total Heated Area
2825 Total Enclosed Area
2842 Total Under Roof

FIRST LEVEL FLOOR PLAN

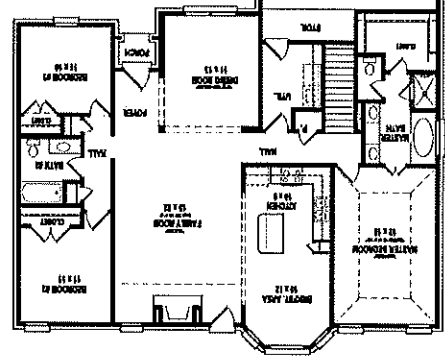


SECOND LEVEL FLOOR PLAN

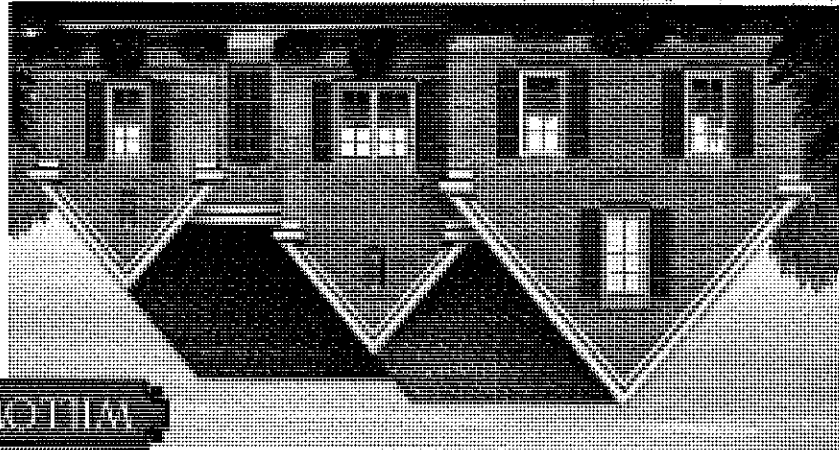


SQUARE FOOTAGE:
1808 Heated Down
407 Heated Up
476 Garage & Storage
166 Front & Rear Porches
2215 Total Heated Area
2691 Total Enclosed Area
2857 Total Under Roof

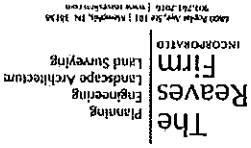
FIRST LEVEL FLOOR PLAN



SYCAMORE

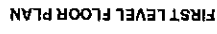


WILLOW



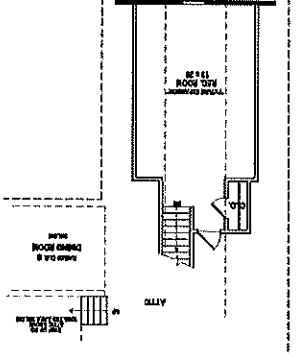
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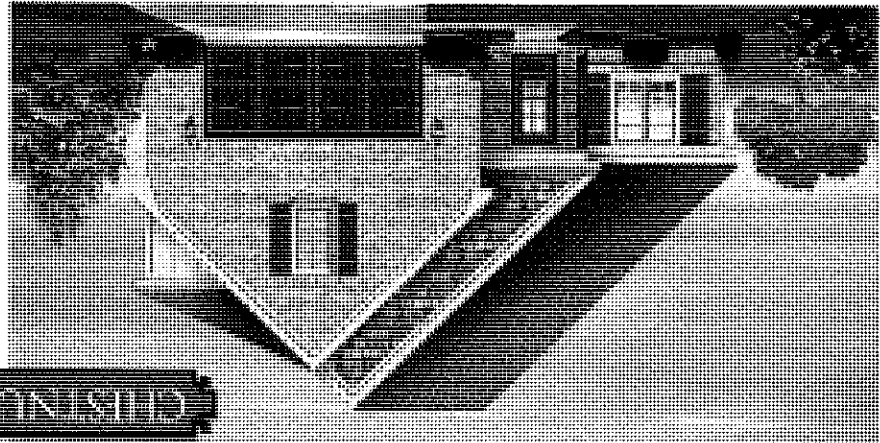


464 Garage & Storage

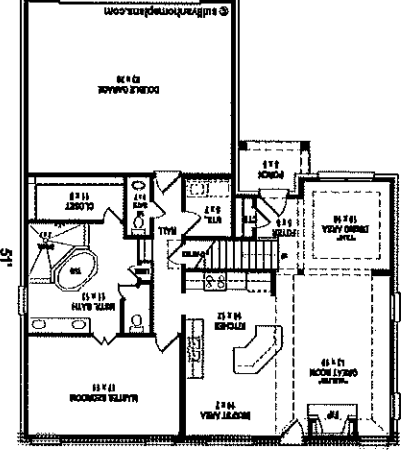
SECOND LEVEL FLOOR PLAN



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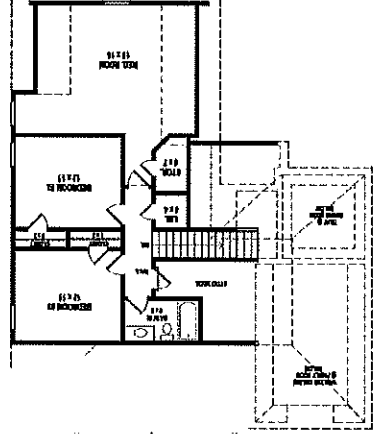
[illegible]

43.



504 Garage & Storage
848 Heated UP
1307 Heated Down
SQUARE FOOTAGE:
43 Front Porch
2155 Total Heated Area
2659 Total Enclosed Area
2702 Total Under Roof

SECOND LEVEL FLOOR PLAN

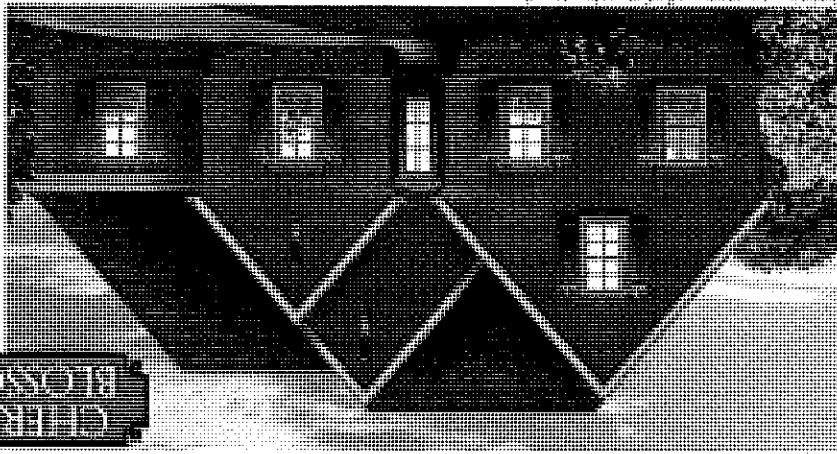


SKYLAKE
— CONSTRUCTION —



NORTH

CHERRY BLOSSOM

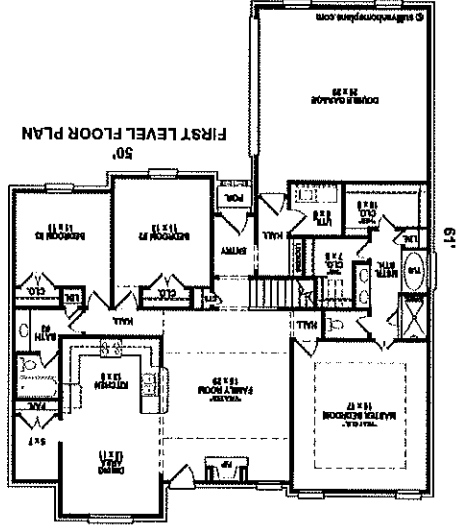


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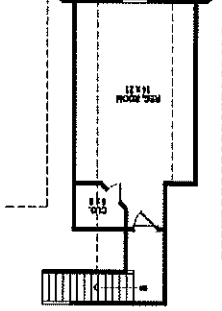
SQUARE FOOTAGE

1834 Heated Down
144 Heated Up
460 Garage & Storage
13 Front Porch
2278 Total Heated Area
2738 Total Enclosed Area
2751 Total Under Roof

FIRST LEVEL FLOOR PLAN



SECOND LEVEL FLOOR PLAN



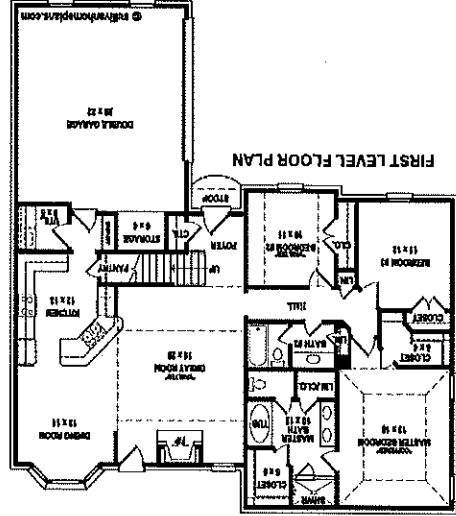
CYPRESS



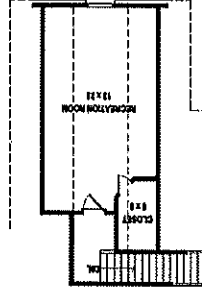
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53'

FIRST LEVEL FLOOR PLAN



SECOND LEVEL FLOOR PLAN



SQUARE FOOTAGE
1730 Heated Down
436 Heated Up
531 Garage & Storage
189 Front & Rear Porches
2166 Total Heated Area
2699 Total Enclosed Area
2888 Total Under Roof

PINE WOOD NORTH

SKYLAKE
CONSTRUCTION

TYPICAL HOME ELEVATION



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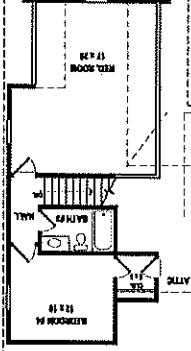


TYPICAL HOME ELEVATION

SKYLAKE
—CONCEPT HOME—

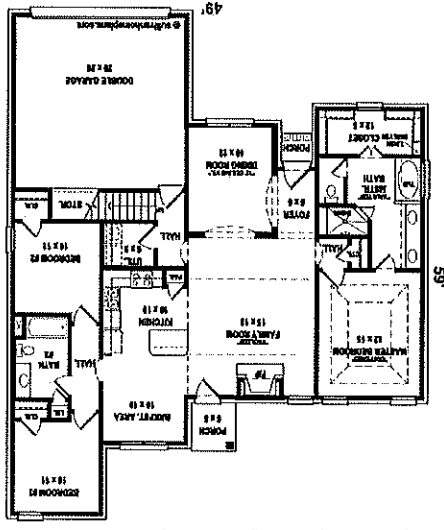
PINE WOOD NORTH

SECOND LEVEL FLOOR PLAN



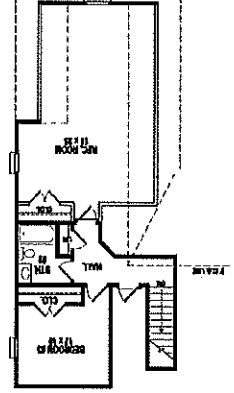
1674 Heated Down
598 Heated Up
442 Garage & Storage
42 Front & Rear Porches
2272 Total Heated Area
2714 Total Enclosed Area
2756 Total Under Roof

FIRST LEVEL FLOOR PLAN



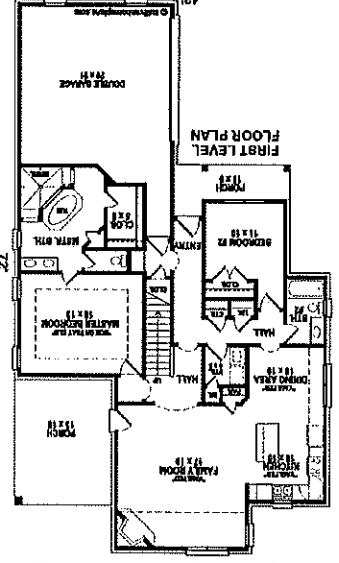
1674 Heated Down
598 Heated Up
442 Garage & Storage
42 Front & Rear Porches
2272 Total Heated Area
2714 Total Enclosed Area
2756 Total Under Roof

SECOND LEVEL FLOOR PLAN

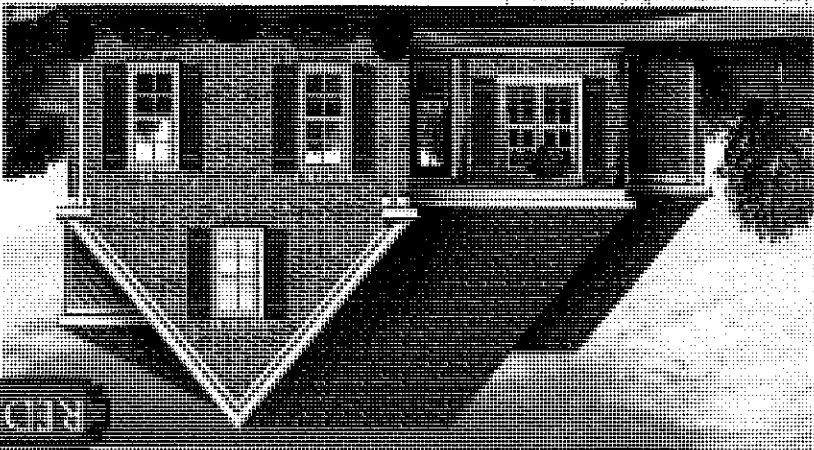
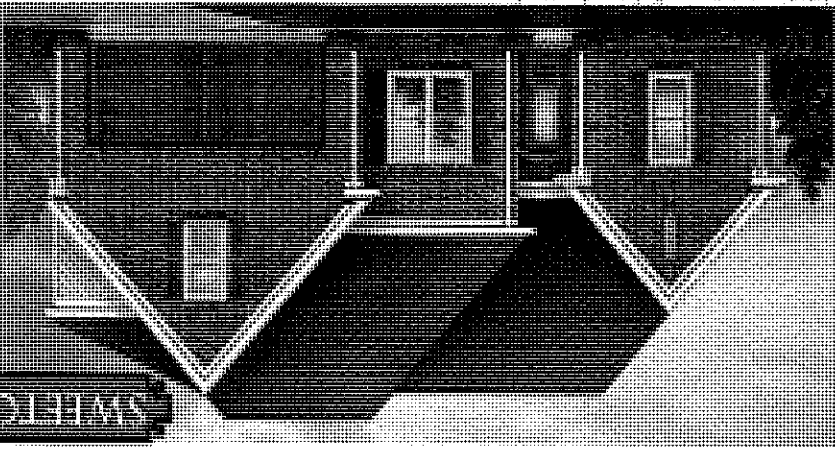


1569 Heated Down
759 Heated Up
508 Garage & Storage
2327 Total Heated Area
2835 Total Enclosed Area
3128 Total Under Roof

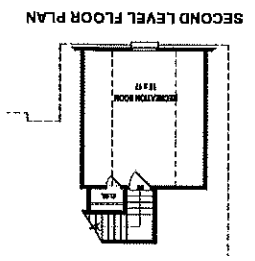
FIRST LEVEL FLOOR PLAN



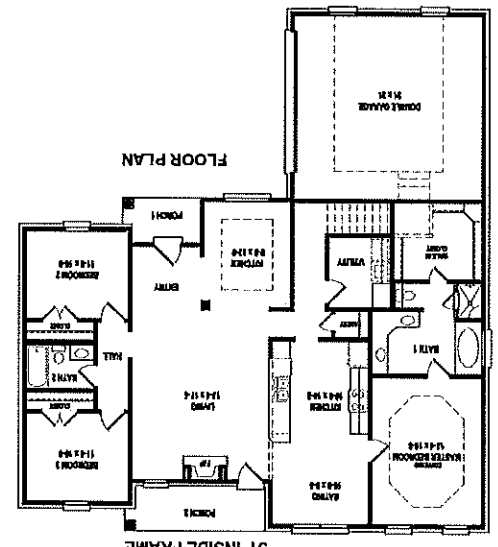
1569 Heated Down
759 Heated Up
508 Garage & Storage
2327 Total Heated Area
2835 Total Enclosed Area
3128 Total Under Roof



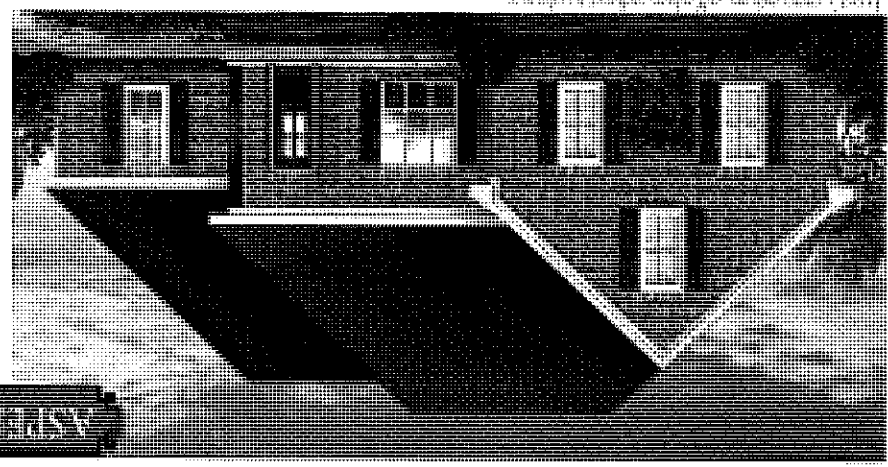
PINE WOOD NORTH



SQUARE FOOTAGE
1698 Heated Down
281 Heated Up
496 Garage & Storage
113 Front Porch
1979 Total Heated Area
2475 Total Enclosed Area
2588 Total Under Roof



59' BRICK TO BRICK
57'-8" INSIDE FRAME

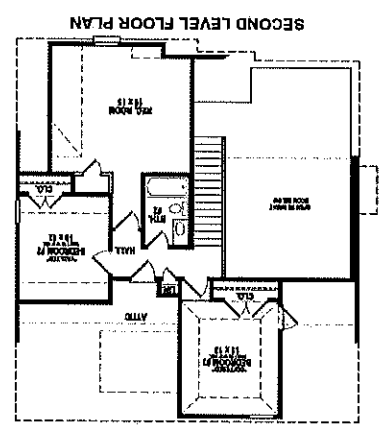
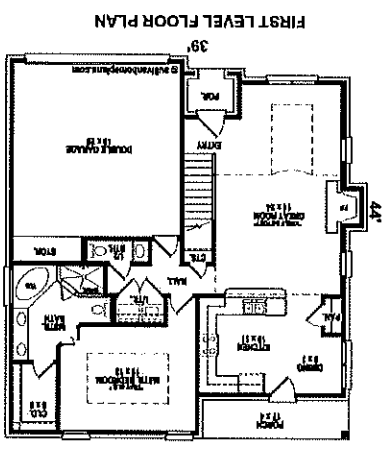


ASPEN

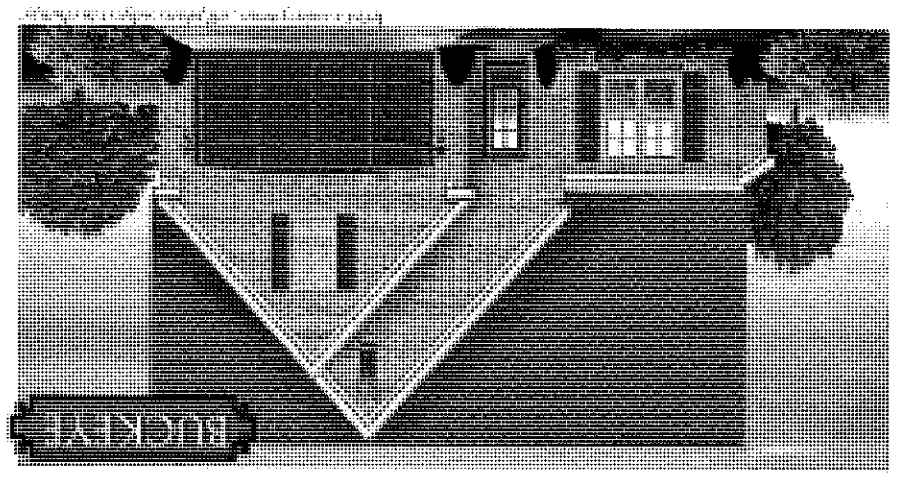
TYPICAL HOME ELEVATION 12

Other elevations available. Please refer to our website for more details.

SQUARE FOOTAGE:
101 Front & Rear Porches
1873 Total Heated Area
2314 Total Enclosed Area
2415 Total Under Roof

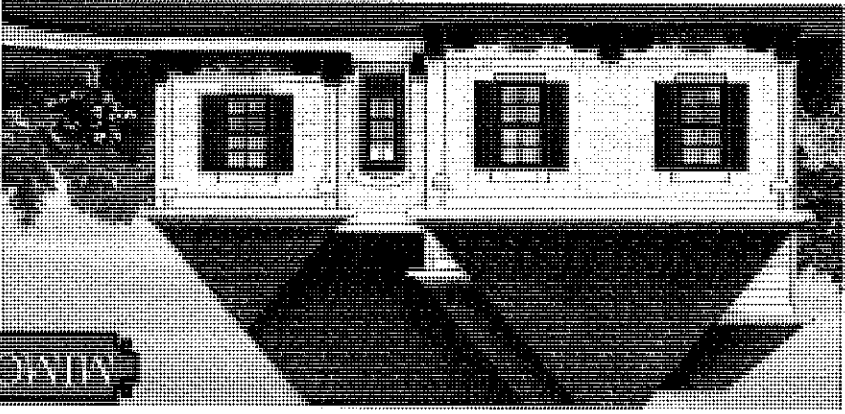


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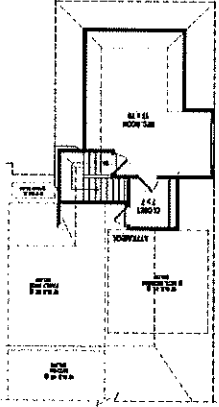


BUCKINGHAM

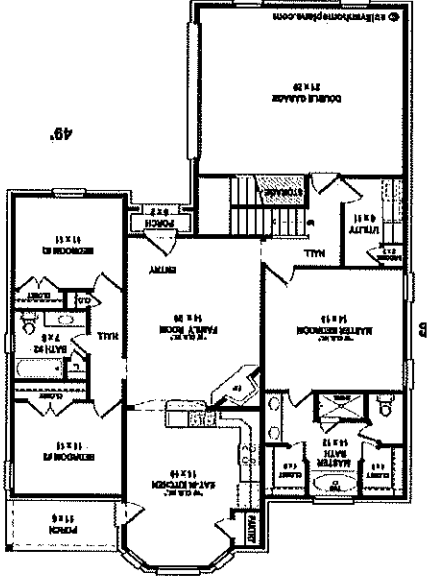
ALPINE



alterations, all plans subject to change



SQUARE FOOTAGE:
 1626 Heated Down
 379 Heated Up (optional)
 482 Garage & Storage
 87 Front & Rear Porches
 2005 Total Heated Area
 2487 Total Enclosed Area
 2574 Total Under Roof



TYPICAL HOME ELEVATION

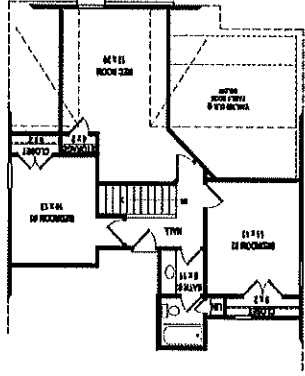


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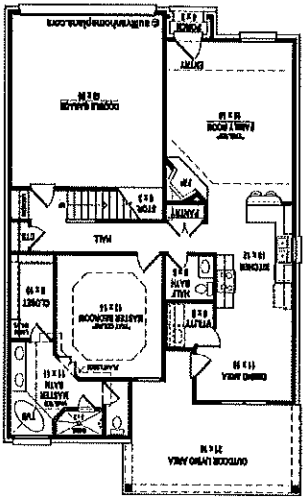
CEDAR



SQUARE FOOTAGE:
 1147 Heated Down
 737 Heated Up
 1884 Total Heated Area
 2291 Total Enclosed Area
 2536 Total Under Roof
 407 Garage & Storage
 231 Outdoor Living Area



SECOND LEVEL FLOOR PLAN



FIRST LEVEL FLOOR PLAN

PINE WOOD NORTH

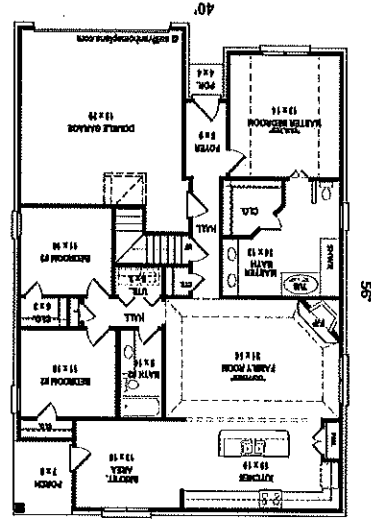


SKYLAKE
 CONSTRUCTION

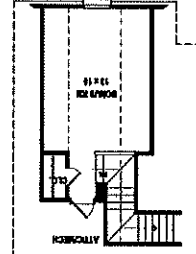
PINE WOOD NORTH

SKYLAKE
CONSTRUCTION

FIRST LEVEL FLOOR PLAN



SECOND LEVEL FLOOR PLAN



SQUARE FOOTAGE:
1609 Heated Down
340 Heated Up
483 Garage & Storage
79 Front & Rear Porches
1949 Total Heated Area
2432 Total Enclosed Area
2511 Total Under Roof



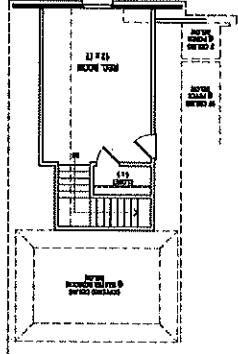
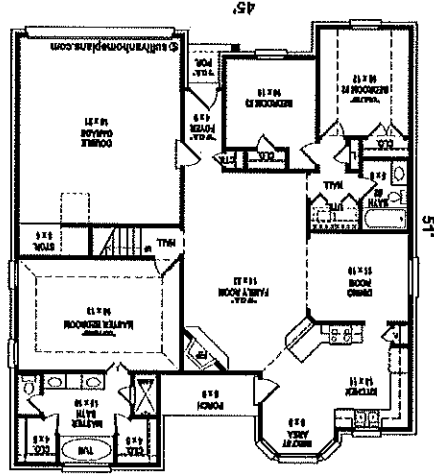
PINE WOOD NORTH

TYPICAL HOME ELEVATION



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Des Moines, IA 50319

FIRST LEVEL FLOOR PLAN

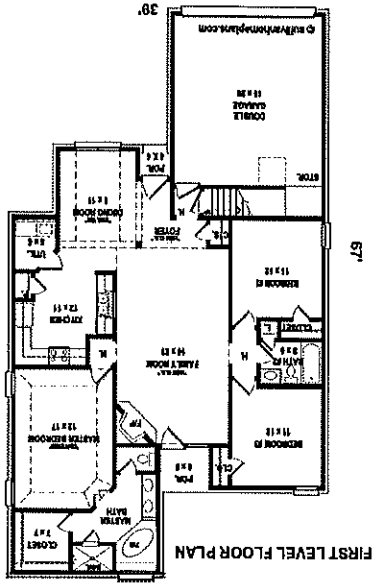


SECOND LEVEL FLOOR PLAN

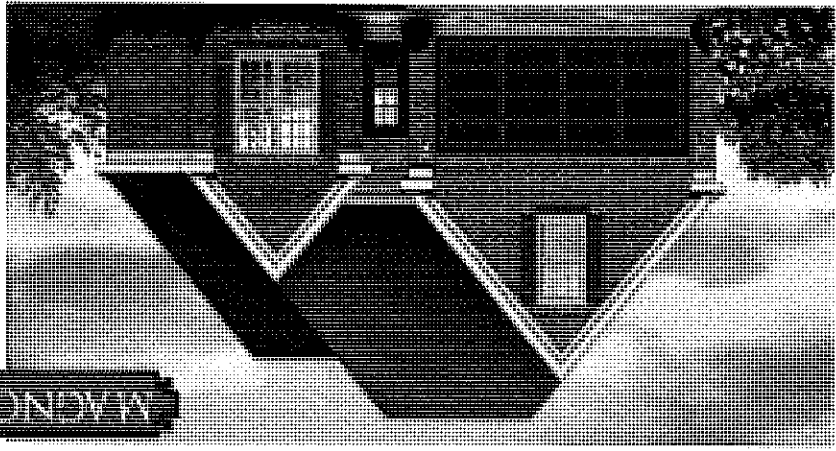


TYPICAL HOME ELEVATION

PINE WOOD NORTH



SQUARE FOOTAGE:
1549 Heated Down
284 Heated Up
480 Garage & Storage
47 Front & Rear Porches
1833 Total Heated Area
2293 Total Enclosed Area
2340 Total Under Roof

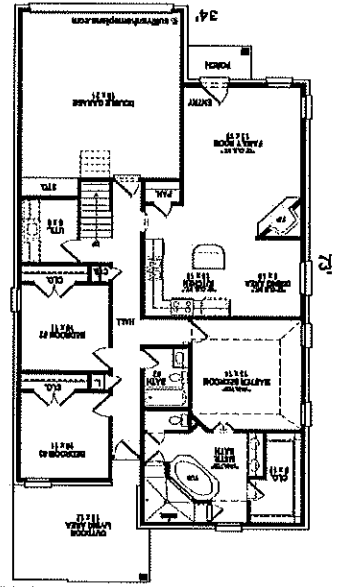


MAGNOLIA

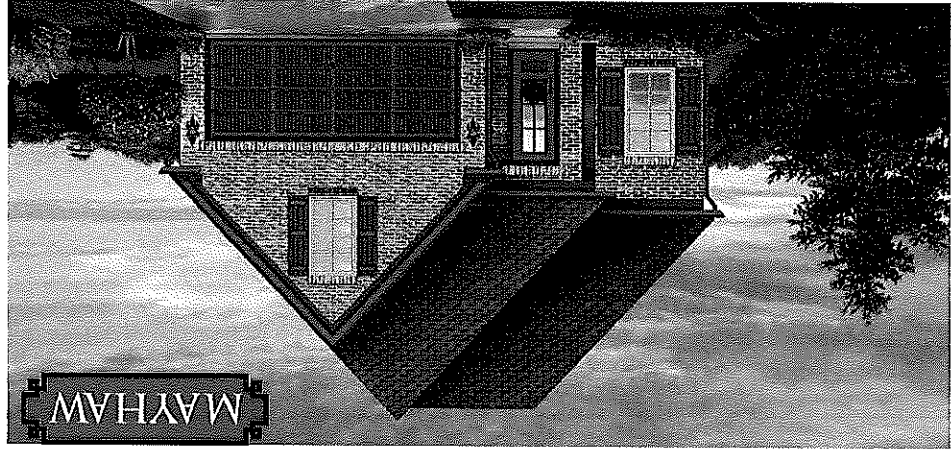
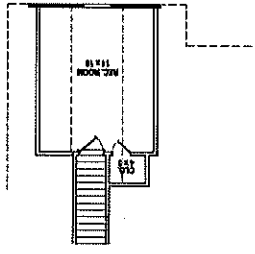
TYPICAL HOME ELEVATION 15



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SQUARE FOOTAGE:
1561 Heated Down
261 Heated Up
434 Garage & Storage
31 Front & Rear Porches
1822 Total Heated Area
2256 Total Enclosed Area
2478 Total Under Roof



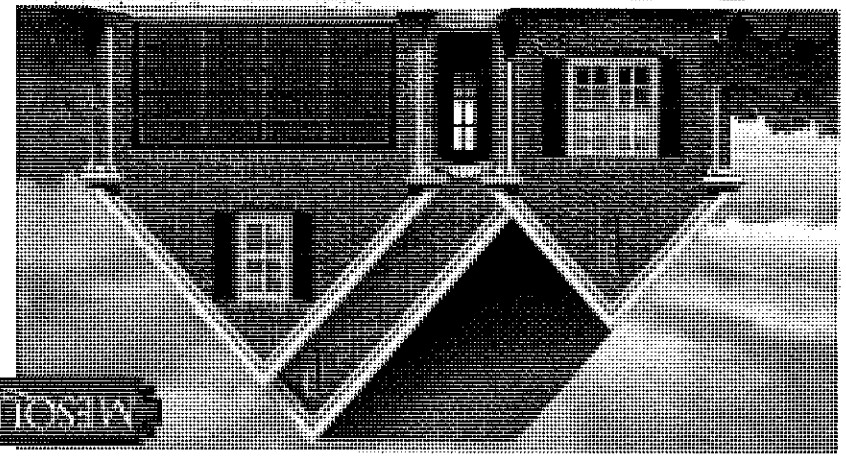
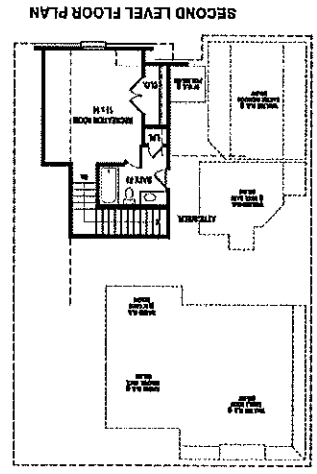
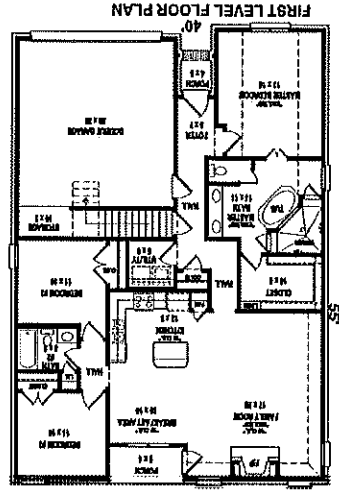
MAYHAW

Views & room options, all plans subject to change

PINE WOOD NORTH



SQUARE FOOTAGE:
 60 Front & Rear Porches
 1954 Total Heated Area
 379 Heated Up
 480 Garage & Storage

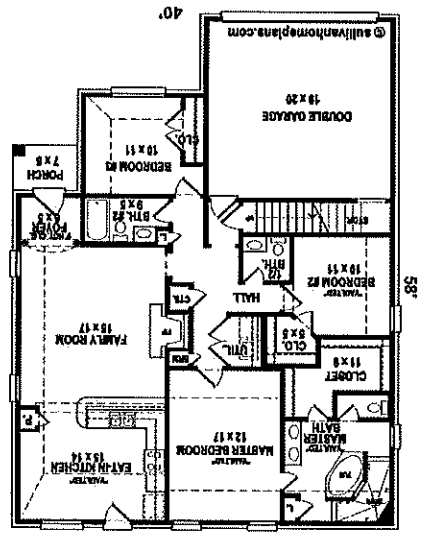


TYPICAL HOME ELEVATION 16

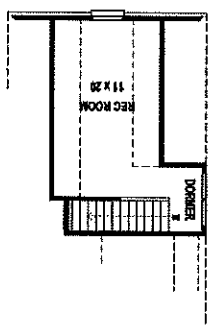


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 919.286.7010 | www.reavesfirm.com

FIRST LEVEL FLOOR PLAN

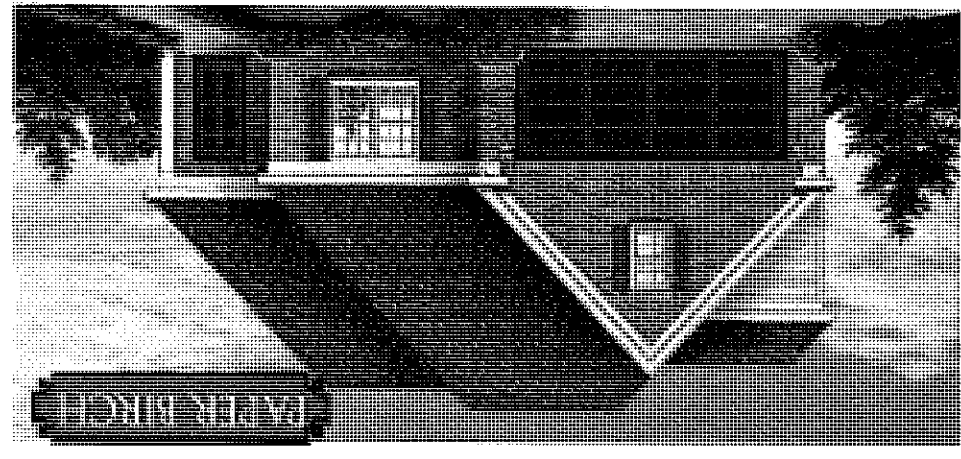


SECOND LEVEL FLOOR PLAN



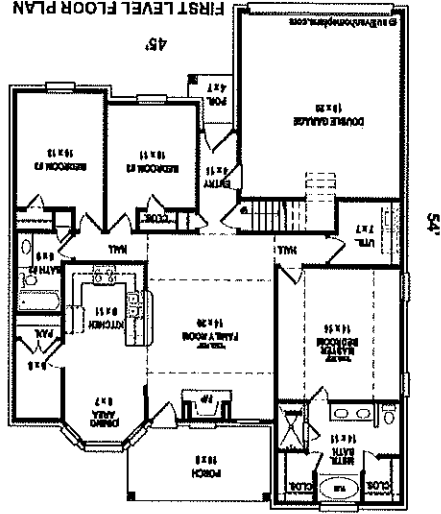
SQUARE FOOTAGE:
 1577 Heated Down
 305 Heated Up
 453 Garage & Storage
 34 Front & Rear Porches
 1577 Total Heated Area
 2335 Total Enclosed Area
 2369 Total Under Roof

Artist's conceptions, all plans subject to change

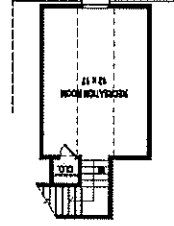


PINE WOOD NORTH

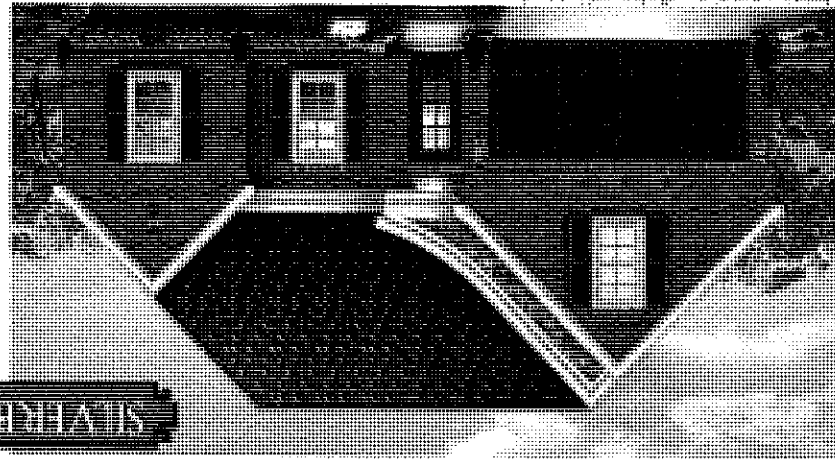
SKYLAKE CONSTRUCTION



SECOND LEVEL FLOOR PLAN



SQUARE FOOTAGE
1580 Heated Down
302 Heated Up
421 Garage & Storage
154 Front & Rear Porches
1882 Total Heated Area
2303 Total Enclosed Area
2457 Total Under Roof



SILVERBELT

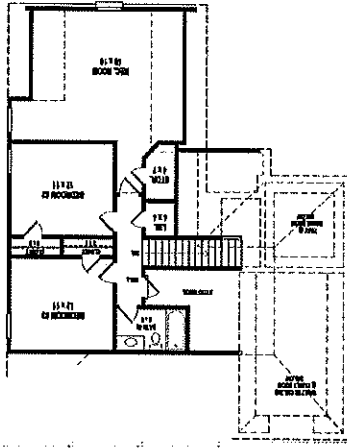
TYPICAL HOME ELEVATION

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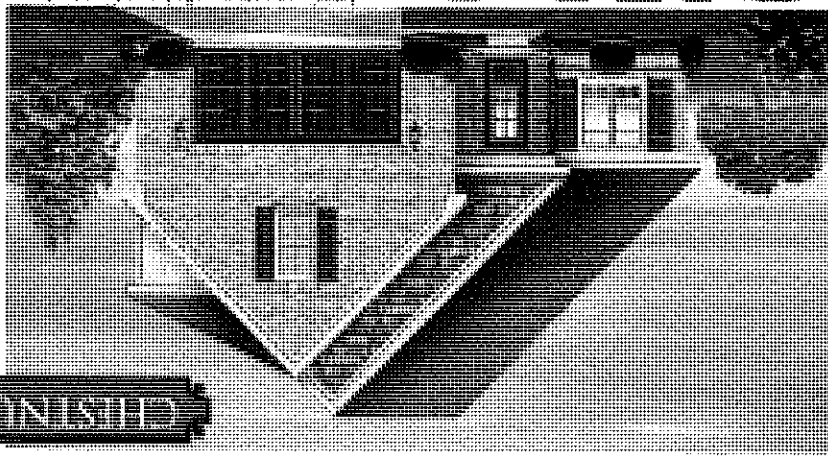
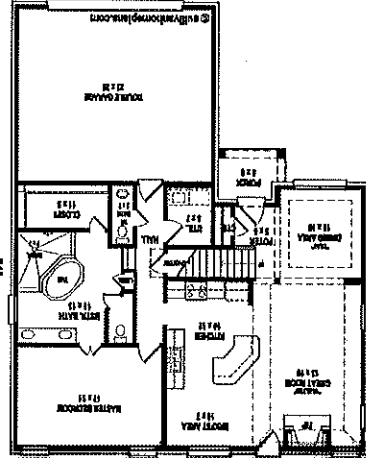
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SQUARE FOOTAGE
1307 Heated Down
848 Heated Up
2659 Total Enclosed Area
2702 Total Under Roof

SECOND LEVEL FLOOR PLAN



FIRST LEVEL FLOOR PLAN



CHESTNUT

OUTLINE PLAN CONDITIONS
PINEWOOD PLANNED DEVELOPMENT

June 1, 2017

REVISED TEXT FOR PINEWOOD NORTH
(AREA 2 - NORTH OF TVA EASEMENT ONLY)
DECEMBER 2021

Overview

Pinewood Planned Development is a 280-acre mixed-use development that contains retail, office, and medium density single family residential uses. Pinewood complies with the designation set forth in the General Development Plan for the city of Southaven and falls within the allowable density recommendations of this area. A specific and detailed plan of development will be submitted for review and approval by the development staff and the Planning Commission identifying unit sizes, architectural style, exterior building materials, landscape planting plans and other site development features with the application of the Final Plans and Final Site Plans for each phase of development.

I. Area 1

A. General Concept

Area 1 consists of approximately 12.5 acres and is intended to develop as a planned commercial site providing goods and services to the neighborhood and the greater Southaven community. Area 1 is also intended to create the identity and western gateway for Pinewood.

Uses as permitted by right and as governed by the General Commercial (C-4) District with the exception of:

- 1) Aluminum car collection center with no processing or outside storage
- 2) Automobile dealership, new and used
- 3) Automobile rental office
- 4) Bowling Alley
- 5) Bus terminal
- 6) Carnival
- 7) Car Wash
- 8) Car Wash as an accessory to a convenience store
- 9) Contractors storage yard
- 10) Crop, soil preparation, agriculture services
- 11) Donation Boxes
- 12) Funeral Home
- 13) Laboratories, research, experimental or testing
- 14) Lounges, bars, taverns and similar establishments
- 15) Miniature golf course
- 16) Motor Vehicle service with outside storage
- 17) Outside sales and storage

B.

Uses Permitted:

D.

Access, Parking and Circulation:

- 1) The City Engineer shall approve the final design and final location of curbs.
 - 2) Off-street parking shall be at the ratio of one parking space per three hundred (300) square feet of gross floor area and loading shall be in accordance with Chapter 7 of the City of Southaven Zoning Ordinance.
- I. Landscaping, Buffers, and Screening
- 1) A fifteen (15) foot Landscape Buffer Plate A shall be installed along all Stateline and Tchulahoma Road right of ways, as illustrated on the Conceptual Site Plan. Interior landscaping shall be in accordance with the City of Southaven Zoning Ordinance.

C.

Site Development Regulations (setbacks, height and other bulk regulations)

- 1) Building Setbacks:
 - a) Front yard setback from any street R.O.W. shall be fifty (50) feet.
 - b) Rear yard setback shall be twenty (15) feet when adjacent to retail, office or planned business park uses.
 - c) Rear yard setback shall be fifty (50) feet when adjacent to residential uses.
 - e) Side yard setbacks shall be zero (0) feet when adjacent to retail, Side yard setbacks shall be fifty (50) feet when adjacent to residential uses.
- 2) Maximum building height shall be forty (40) feet

- 18) Outside sales and storage
- 19) Commercial parking
- 20) Skating rink
- 21) Special event tents
- 22) Theater
- 23) Wholesale merchandising/discount retail
- 24) Plumbing shop
- 25) Wedding Chapel
- 26) Zoo
- 27) Small assembly or manufacturing
- 28) Accessory dwelling units
- 29) Hotel
- 30) Cemetery
- 31) Radio and television towers, or antennas, or earth stations
- 32) Parking, automobile parking lot or garages
- 33) Retail Strip Center



18

P.D. CONDITIONS

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SKYLAKE
CONTRIBUTOR

PINE WOOD
NORTH



- II. Area 2 (NORTH OF TVA EASEMENT ONLY)**
- A. General Concept:**
Area 2 consists of approximately ~~228.97~~ 56.57 acres and is intended to develop as medium density single family residential uses (R-9).
- B. Uses Permitted:**
Uses as permitted by the R-9 Single Family district.
- C. Site Development Regulations (setbacks, height and other bulk regulations)**
1) Building Setbacks:
a) Front yard setback from any street R.O.W. shall be thirty five (35) feet.
b) Rear yard setback shall be twenty five (25) feet.
c) Side yard setbacks shall be five (5) feet minimum for a total of 15 feet between structures.
2) Maximum building height shall be thirty-five (35) feet.
3) The Minimum building size is ~~1,600~~ 1,800-2,000 HEATED SF.
4) Minimum lot size is ~~9,707~~ 10,425 square feet.
a) Lot Width 70 feet minimum
b) Maximum density is ~~4.2~~ 2.5 dwelling units per gross acre
The City Engineer shall approve the final design and final location of curb cuts.
D. Access, Parking and Circulation:
The City Engineer shall approve the final design and final location of curb cuts.
- IV. Area 3**
- A. General Concept**
Area 3 consists of approximately 20.8 acres and its primary uses are intended to be Office (O) Uses.
- B. Uses Permitted:**
Office (O) uses as set forth by Chapter 12, Section 13-12(e) of the City of Southaven Zoning Ordinance with the exception of:
- C. Site Development Regulations (setbacks, height and other bulk regulations)**
1) Building Setbacks for Office Uses:
a) Front yard setback from all R.O.W. shall be fifty (50) feet.
b) Rear yard setback shall be twenty (20) feet.
c) Side yard setbacks shall be five (5) feet.
d) Maximum building height shall be thirty-five (35) feet.
2) Access, Parking and Circulation:
The City Engineer shall approve the final design and final location of curb cuts.
- E. Landscaping, Screening and Buffer yards:**
1) A ~~thirteen~~ TWENTY (20) foot Landscape Buffer, Plate C shall be provided along the Getwell Road, Stateline Road and Technistoma Road frontages as indicated on the outline plan.
- F. Signage:**
1) Shall be in accordance with Chapter 6 of the City of Southaven Zoning Ordinance.



- 2) All internal public streets shall be constructed to meet the City of Southern pavement design standards and regulations and shall be a minimum width of sixty (60) feet.
- Landscaping, Bufferyards, and Screening
- 1) A fifteen (15) foot Landscape Buffer Plate A shall be installed along Getwell Road right-of-way. Interior landscaping shall be in accordance with the City of Southern Zoning Ordinance.
- 2) A fifteen (15) foot Landscape Buffer Plate B shall be installed between Office Uses and Residential Uses
- 3) All landscaped areas will be provided with an underground irrigation system.
- 4) All common open space shall be maintained by a Property owner's Association.
- F. Signage:**
- 1) Shall be in accordance with Chapter 6 of the City of Southern Zoning.
- Area 4**
- A. General Concept**
- Area 4 consists of approximately 18.07 acres and is intended to develop as a planned commercial site providing goods and services to the neighborhood and the greater Southern community.
- B. Uses Permitted:**
- Uses as permitted by right and as governed by the General Commercial (C-4) District with the exception of:
- 1) Aluminum can collection center with no processing or outside storage
 - 2) Automobile dealership, new and used
 - 3) Automobile rental office
 - 4) Bowling Alley
 - 5) Bus terminal
 - 6) Carnival
 - 7) Car Wash
 - 8) Car Wash as an accessory to a convenience store

- C. Site Development Regulations (setbacks, height and other bulk regulations)**
- 1) **Building Setbacks:**
- a) Front yard setback from any street R.O.W. shall be fifty (50) feet.
 - b) Rear yard setback shall be twenty (15) feet when adjacent to retail, office or planned business park uses.
 - c) Rear yard setback shall be fifty (50) feet when adjacent to residential uses.
 - d) Side yard setbacks shall be zero (0) feet when adjacent to retail, residential uses.
 - e) Side yard setbacks shall be fifty (50) feet when adjacent to residential uses.
- 2) Maximum building height shall be forty (40) feet
- D. Access, Parking and Circulation:**
- 1) The City Engineer shall approve the final design and final location of curb cuts.

- 9) Contractors storage yard
- 10) Crop, soil preparation, agriculture services
- 11) Donation Boxes
- 12) Funeral Home
- 13) Laboratories, research, experimental or testing
- 14) Lounges, bars, taverns and similar establishments
- 15) Miniature golf course
- 16) Motor Vehicle service with outside storage
- 17) Outside sales and storage
- 18) Outside sales and storage
- 19) Commercial parking
- 20) Skating rink
- 21) Special event tents
- 22) Theater
- 23) Wholesale merchandising/discount retail
- 24) Pumping shop
- 25) Wedding Chapel
- 26) Zoo
- 27) Small assembly or manufacturing
- 28) Accessory dwelling units
- 29) Hotel
- 30) Cemetery
- 31) Radio and television towers, or antennas, or earth stations
- 32) Parking, automobile parking lot or garages
- 33) Retail Strip Centers



- VI. Miscellaneous**
- F. Signage:**
- 1) Shall be in accordance with Chapter 6 of the City of Southaven Zoning Ordinance.
 - 2) A fifteen (15) foot Landscape Buffer Plate B shall be installed between Retail Uses and Office Uses.
 - 3) All landscape areas will be provided with an underground irrigation system.
- E. Landscaping, Bufferyards, and Screening**
- 2) Off-street parking shall be at the ratio of one parking space per three hundred (300) square feet of gross floor area and loading shall be in accordance with Chapter 7 of the City of Southaven Zoning Ordinance.
 - 1) A fifteen (15) foot Landscape Buffer Plate A shall be installed along all Getwell and StateLine Roads, as illustrated on the Conceptual Site Plan. Interior landscaping shall be in accordance with the City of Southaven Zoning Ordinance.
 - 2) A fifteen (15) foot Landscape Buffer Plate B shall be installed between Retail Uses and Office Uses.
 - 3) All landscape areas will be provided with an underground irrigation system.
- VI. Miscellaneous**
- 1) Getwell Road shall be dedicated fifty-three (53) feet from center line and improved in accordance with the City of Southaven Subdivision Regulations.
 - 2) Tehulahoma Road shall be dedicated fifty-three (53) feet from centerline and improved in accordance with the City of Southaven Subdivision Regulations.
 - 3) Storm water detention areas shall be permitted in bufferyards as long as the required number of trees is provided and the storm water detention areas are landscaped.
 - 4) All required landscaping shall not conflict with any existing or proposed easements.
 - 5) All construction and improvements shall be in compliance with erosion and sediment control guidelines and ordinances of the City of Southaven and the State of Mississippi.
 - 6) All refuse containers; recycle containers and refuse packers shall be screened from external boundary rights-of-way in accordance with the Southaven Design Review Ordinance.
- X. Sanitary Sewer**
- The sanitary sewer system shall be designed and constructed in accordance with the Mississippi Department of Health and Environment and the City of Southaven standards and specifications.
- XI. Utilities**
- A. All utility service meters, junction boxes, transformers and other utility appurtenances shall be placed in service areas or otherwise screened from public view.
 - B. All utilities (other than methane feed supplied by the local utility provider) shall be underground.
- XII. Final Plan Review**
- A. The final site plan/final plat shall contain the following information:
- 1) The location, dimensions, floor area and height of typical buildings, structures, signs and parking areas.
 - 2) Specific landscape plans for internal and perimeter landscaping and screening, including plant species and sizes.
 - 3) The location and use of all common open space.

- B.
- 4) The proposed exterior appearance of buildings and signs including elevation drawings and material selections.
 - 5) Proposed means of access and circulation of automobile and pedestrian traffic.
- The final plan shall be reviewed based upon the following criteria:
- 1) Conformance with the Concept Plan Conditions and Subdivision Regulations.
 - 2) Conformance with the standards and criteria for planned developments contained in the Zoning Ordinance.
 - 3) Conformance with the design principles for the Southeaven Design Review Ordinance.



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City of Southaven
Office of Planning and Development
Amendment to PUD Staff Report

City of Southaven City Hall
Executive Board Room
8710 Northwest Drive

Date of Hearing:	February 28, 2022
Public Hearing Body:	Planning Commission
Applicant:	David Lassiter 845 Claytie Cove 901-254-3396
Total Acreage	21.81 acres
Existing Zoning:	Planned Unit Development (Magnolia Glenn)
Location of PUD Amendment application:	West side of Swinnea Road, north of Star Landing road.
Surrounding property zoning: North: SFR South: SFR East: SFR West: SFR	
Proposed Amendment: (Explain) The applicant is requesting to amend the existing Magnolia Glenn Planned Unit Development to reduce the amount of acreage associated with the COS pond area of the PUD. At present time, the text of the PUD shows a 4.40 acres or 20% allowance for open space with the pond area showing 3.16 acres. The applicant who lives in Claytie Cove which per the PUD is lot 16 (plat shows it as lot 17) has purchased the COS via a tax sale and wants to incorporate a small portion into the residential lot. To do this, the PUD text must be formally changed which requires pages 1 and 2 to be revised in terms of the overall open space acreage. The request submitted would change this number from 4.40 acres to 4.169 acres. Additionally, the acreage for the pond COS is mentioned on	

page 4 which is the sewer layout map and it shows the pond acreage which needs to be revised to show 2.67 acres.	
Comprehensive Plan Designation:	Medium density residential
Staff Comments: Staff has reviewed the request submitted by the applicant. There is no request revision that would change the density or quality of life for the residents. Since the applicant owns and maintains both lots and the minimum requirements of open space for a PUD is still maintained at the 20% staff sees no issues with this request and recommends approval.	
Planning Commission Recommendation:	Motion made by: Seconded by:

February 25, 2022



1:2,257
0 0.0275 0.056 0.11 mi
0 0.0425 0.085 0.17 km

GENERAL DESCRIPTION Magnolia Glenn

Magnolia Glenn PLANNED UNIT DEVELOPMENT IS DESIGNED TO PROVIDE A HIGH QUALITY, PLANNED NEIGHBORHOOD ENVIRONMENT FOR THE EXISTING AND FUTURE RESIDENTS OF THE CITY OF SOUTHAVEN. THE Magnolia Glenn COMMUNITY WILL PROVIDE SINGLE FAMILY HOME OWNERSHIP OPPORTUNITIES. THE SITE IS DESIGNED FOR SINGLE FAMILY USE. STREETS ARE LAY OUT TO TAKE ADVANTAGE OF THE TOPOGRAPHY OF THE SITE. THE PLAN IS INTENDED TO BENEFIT EXISTING CITY CITIZENS, AS WELL AS ITS FUTURE RESIDENTS. THROUGH THE DEVELOPMENT OF A HIGH QUALITY LIVING ENVIRONMENT, COMPATIBLE WITH AND CONDUCTIVE TO THE HIGH QUALITY OF LIFE FOUND IN THE CITY OF SOUTHAVEN.

II. REGULATORY COMPLIANCE

THE SOUTHAVEN GENERAL DEVELOPMENT PLAN DESIGNATES THE FUTURE USE OF THE SITE AS A LOW DENSITY RESIDENTIAL. THE RESIDENTIAL DESIGNATIONS ALLOW FOR DEVELOPMENT OF UP TO 2.2 UNITS PER ACRE.

THE SITE IS CURRENTLY ZONED AR (AGRICULTURAL RESIDENTIAL) WHICH ALLOWS FOR DEVELOPMENT WITHOUT PUBLIC SEWER ON LOT SIZES OF 1.5 ACRES. NO F.E.M.A. DESIGNATED FLOOD PLAIN OR FEDERALLY DESIGNATED WETLAND IMPACTS THE SITE.

THE MASTER PLAN PROPOSES THE DEVELOPMENT OF 49 LOTS IN THE DEVELOPMENT. THE DEVELOPMENT IS PROPOSED FOR REZONING FROM A-R (AGRICULTURAL-RESIDENTIAL) PLANNED UNIT DEVELOPMENT UNDER REGULATORY REQUIREMENTS OF THE CITY OF SOUTHAVEN ZONING ORDINANCE.

THE CITY OF SOUTHAVEN ZONING ORDINANCE STATES THAT THE PURPOSES OF THE PLANNED UNIT DEVELOPMENT ARE:

- (1) TO ENCOURAGE A VARIETY AND FLEXIBILITY IN LAND DEVELOPMENT AND USE FOR RESIDENTIAL AREAS CONSISTENT WITH THE GENERAL DEVELOPMENT PLAN AND THE ORDERLY DEVELOPMENT OF CITY OF SOUTHAVEN.

(2) PROVIDE A FRAMEWORK WITHIN WHICH AN EFFECTIVE RELATIONSHIP OF DIFFERENT LAND USES AND ACTIVITIES CAN BE PLANNED ON A TOTAL BASIS.

(3) PROVIDE A HARMONIOUS RELATIONSHIP WITH THE SURROUNDING DEVELOPMENT, MINIMIZING SUCH INFLUENCES AS LAND USE INCOMPATIBILITIES, HEAVY TRAFFIC AND CONGESTION, AND EXCESSIVE DEMANDS ON PLANNED AND EXISTING PUBLIC FACILITIES.

(4) PROVIDE A MEANS OF DEVELOPING AREAS WITH SPECIAL PHYSICAL FEATURES TO ENHANCE NATURAL BEAUTY AND OTHER ATTRIBUTES.

(5) ENCOURAGE THE EFFICIENT USE OF THOSE PUBLIC FACILITIES REQUIRED IN CONNECTION WITH NEW RESIDENTIAL DEVELOPMENT.

(6) ENCOURAGE INNOVATIONS IN URBAN/SUBURBAN DESIGN AND THE APPLICATION OF SOUND DESIGN PRINCIPLES."

THE MASTER PLAN ILLUSTRATES A PLAN WHICH IS RESPONSIVE TO EACH OF THE PURPOSES SET FORTH FOR THE OVERLAY DISTRICT. THE RESIDENTIAL PORTION OF THE COMMUNITY OFFERS LOTS FOR SINGLE FAMILY RESIDENTIAL USE ONLY.

III. USES PERMITTED

THE MASTER PLAN SHOWS ONLY SINGLE FAMILY RESIDENTIAL AREAS TO BE DEVELOPED IN THE Magnolia Glenn COMMUNITY. ADDITIONAL USE RESTRICTION MAY BE CONTAINED IN THE RESTRICTIVE COVENANTS.

A. PLANNED UNIT DEVELOPMENT DISTRICT. USES IN THIS DISTRICT SHALL BE REGULATED BY THOSE USES CONTAINED IN THE DATE OF APPROVAL EXCEPT AS MODIFIED UNDER BULK REGULATIONS.

G. PARK AREAS- THE DEVELOPER SHALL SET ASIDE 4.40 ACRES OR 20% FOR OPEN SPACE.

F. FENCES- FENCES SHALL BE ALLOWED ACCORDING TO THE TERMS OF THE CITY OF SOUTHAVEN ZONING ORDINANCE. CHAIN LINK FENCES SHALL BE EXPRESSLY PROHIBITED. PERMITTED FENCES SHALL BE CONSTRUCTED SIMILARLY OR IN COMBINATION OF WOOD, BRICK, OR WROUGHT IRON.

E. LANDSCAPE BUFFERS- LANDSCAPE BUFFERS SHALL BE ESTABLISHED AS INDICATED IN THE LANDSCAPE PLAN. BUFFER YARD DESIGN IS INDICATED AS A PLATE ON THE MASTER PLAN.

D. SIGNS- SIGN PLACEMENT IN THE DEVELOPMENT SHALL BE CONTROLLED BY THE APPLICABLE SECTIONS OF THE CITY OF SOUTHAVEN ZONING ORDINANCE AS OF THE DATE OF APPROVAL.

C. ACCESSORY BUILDINGS - THE PLACEMENT OF THE SINGLE FAMILY RESIDENTIAL SECTION OF THE DEVELOPMENT AND SHALL BE SUBJECT TO APPLICABLE RULES OF THE CITY OF SOUTHAVEN ZONING ORDINANCE.

B. OFF- STREET PARKING- OFF STREET PARKING SHALL BE PROVIDED IN ACCORDANCE WITH OFF STREET PARKING PROVISIONS OF THE CITY OF SOUTHAVEN ZONING ORDINANCE AS OF THE DATE OF APPROVAL.

IV. BULK REQUIREMENTS
A. MAXIMUM DENSITIES: DWELLINGS UNITS PER ACRE
FOR THE DEVELOPMENT SHALL BE AS FOLLOWS:

1. SINGLE FAMILY RESIDENTIAL- 2.2 DWELLINGS PER

ACRE.

B. LOT DIMENSIONS- LOT DIMENSIONS AND SETBACKS SHALL BE AS FOLLOWS:

1. SINGLE FAMILY RESIDENTIAL
FRONT YARD SETBACK- 25 FEET
SIDE YARD SETBACK 5 FEET
REAR YARD SETBACK 20 FEET
MINIMUM WIDTH AT FRONT YARD SETBACK 70 FEET
MINIMUM LOT SIZE 10,000 SQUARE FEET

C. PLAN STATISTICS AND DATA

THE SCOPE OF THE PLAN AND THE TOTAL NUMBER OF UNITS AND ACREAGE DEVOTED TO EACH SECTION OF THE COMMUNITY IS AS FOLLOWS:

MASTER PLAN DATA
P.U.D.

Acres	21.83
Density*	2.20
Lots	48
Open Space	4.40 AC

* LAND USE DENSITY IS BASED ON GROSS ACREAGE. THE ACTUAL ACREAGE OF THE DEVELOPMENT AREA MAY VARY SLIGHTLY SUBJECT TO FINAL DESIGN AND ENGINEERING.

D. SINGLE FAMILY DESIGN STANDARDS- MINIMUM DESIGN STANDARDS FOR SINGLE FAMILY RESIDENTIAL HOMES ARE LISTED AS FOLLOWS:

THERE WILL BE 4.40 ACRES OF OPEN SPACE (20%) WITHIN THE DEVELOPMENT. THE HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE UP KEEP AND MAINTENANCE OF THE OPEN SPACE AND STORM WATER DETENTION AREAS. LANDSCAPE BUFFERS SHALL BE PROVIDED AS REQUIRED BY THE CITY OF SOUTHAVERN. IF THE HOA DOES NOT FULFILL THE REQUIREMENTS, THE CITY OF SOUTHAVERN SHALL RESERVE THE RIGHT TO MAKE NECESSARY REPAIRS AND ACCESS THE COST OF MAINTENANCE REPAIRS TO THE HOMEOWNERS.

VI. LANDSCAPING, BUFFERING, OPEN SPACE AND TREE CONSERVATION

SIDEWALKS SHALL BE PROVIDED ON ALL STREETS. SIDEWALKS SHALL BE 5 FEET WIDE AND CONSTRUCTED TO CITY OF SOUTHAVERN STANDARDS.

LOTS WITH FRONTAGE ON SWINNEA ROAD SHALL NOT BE PROVIDED DIRECT ACCESS TO THE ROAD.

THE CIRCULATION IN THE DEVELOPMENT IS PROVIDED BY A STREET SYSTEM TO BE CONSTRUCTED AT 50 FEET RIGHTS OF WAY. STREETS SHALL BE CONSTRUCTED AT 24 FEET OF PAVEMENT WIDTH FROM THE BACK OF CURBS AND SHALL CONFORM TO THE ROAD CONSTRUCTION STANDARDS OF THE CITY OF SOUTHAVERN.

RESULTS OF THE TRAFFIC STUDY INDICATE THAT ENTRANCE SHALL SERVICE 480 TRIPS PER DAY EACH

ROAD.
Magnolia Glenn IS ACCESSED BY A SINGLE ENTRANCE ON SWINNEA

V. ROADS, ACCESS, AND CIRCULATION

DEVELOPER OR ITS ASSIGNS.
4. UNIT DESIGN AND STYLE, AS WELL AS ACCESSORY OR PIER STRUCTURE DESIGN AND STYLE, SHALL BE APPROVED BY THE

EXPRESSLY PROHIBITED.
DWELLING OF THE SUBJECT LOT, METAL OUT BUILDINGS ARE MATERIALS OF A KIND AND CHARACTER USED IN THE PRINCIPAL

2. ALL UNITS SHALL HAVE ENCLOSED DOUBLE GARAGES.

1. THE MINIMUM HEATED SQUARE FOOTAGE OF A SINGLE ONE STORY HOME WILL BE 2000 SQUARE FEET EXCLUSIVE OF OPEN PORCHES, GARAGES, AND BASEMENTS. FOR THE 1 1/2 STORY RESIDENCES TOTAL SQUARE FOOTAGE INCLUSIVE OF GARAGES OR CARPORTS OF THE GROUND FLOOR SHALL BE 1800.

VIII. SANITARY SEWER FACILITIES

SANITARY SEWER SERVICE SHALL BE PROVIDED BY THE CITY OF SOUTHAVERN BY EXTENDING AN EXISTING MAIN PRESENTLY AT THE SOUTHWEST CORNER OF THE SITE. WATER SERVICE IS WILL BE PROVIDED BY THE CITY OF SOUTHAVERN. WATER FACILITIES CURRENTLY SERVE THE SITE. ELECTRIC POWER SHALL BE SUPPLIED BY ENTERGY. NATURAL GAS SERVICE SHALL BE PROVIDED BY ATMOS GAS.

IX. PHASES OF CONSTRUCTION

THE PROPOSED DEVELOPMENT IS PROJECTED TO BE COMPLETED IN ONE SINGLE PHASE.

VII. DRAINAGE FACILITIES AND SERVICES

THE MASTER PLAN FOR Magnolia Glenn HAS BEEN ANALYZED AND IMPROVEMENTS PROPOSED WHICH MEET CITY OF SOUTHAVERN DRAINAGE STANDARDS. NO INCREASE IN THE CURRENT STORM WATER RUNOFF RATE SHALL BE CAUSED BY THE CONSTRUCTION. APPENDIX 3, DRAINAGE PLAN SHOWS DIRECTIONAL FLOW FOR DRAINAGE AND PROPOSED DETENTION STRUCTURES. ALL NECESSARY DRAINAGE PLANS AND FACILITIES TO PROVIDE FOR NO NET INCREASE IN STORM WATER RUNOFF SHALL BE PROVIDED AT THE FINAL SUBDIVISION APPROVAL STAGE.

ALL FREE STANDING TREES WITH A TRUNK DIAMETER OF 8 INCHES OR MORE AT 3 FEET ABOVE GRADE WILL BE PRESERVED IF AT ALL POSSIBLE.

THE LANDSCAPE BUFFER SHALL BE CONSTRUCTED TO THE LANDSCAPE STANDARDS ILLUSTRATED ON THE MASTER PLAN. SINGLE FAMILY LANDSCAPING SHALL BE PROVIDED IN THE FORM OF INSTALLATION OF AT LEAST TWO DECIDUOUS TREES IN EACH FRONT YARD. A PREMIUM WILL BE PLACED ON THE PRESERVATION OF THE NATURAL TREE COVER.

Magnolia Glenn

P.U.D.
Southaven, Mississippi

X. JUSTIFICATION FOR REZONING AND PLAN COMPLIANCE

THE LAW REQUIRES THAT CHANGES IN THE NEIGHBORHOOD AND PUBLIC NEED FOR REZONING MUST BE DEMONSTRATED BY THE APPLICANT IN ORDER TO OBTAIN REZONING. THE FOLLOWING JUSTIFICATIONS ARE OFFERED IN SUPPORT OF THE REZONING REQUEST:

1. SOUTHAVEN GENERAL DEVELOPMENT PLAN DESIGNATES THE AREA IN QUESTION FOR DEVELOPMENT AS LOW DENSITY RESIDENTIAL AT 2.2 UNITS PER ACRE UNDER PLANNED CONDITIONS. IN ADDITION, AREAS TO THE SOUTH AND WEST OF THE SITE IS DEVELOPED AT A SIMILAR DENSITY AS THAT PROPOSED. THE PROPOSED DEVELOPMENT PLAN COMPLIES WITH THE CITY OF SOUTHAVEN GENERAL DEVELOPMENT PLAN AND PROVIDES FOR A SUITABLE DENSITY TRANSITION BETWEEN EXISTING DEVELOPMENTS TO THE SOUTH, WEST AND NORTH.

2. UTILITIES ARE AVAILABLE OR WILL BE MADE AVAILABLE TO THE SITE.

3. THE SITE IS IN THE PATH OF GROWTH FOR THE CITY OF SOUTHAVEN.

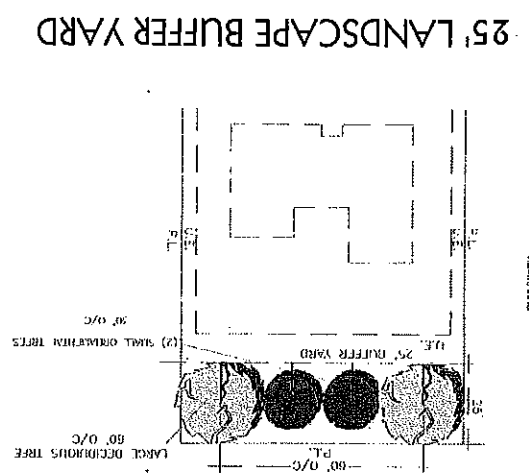
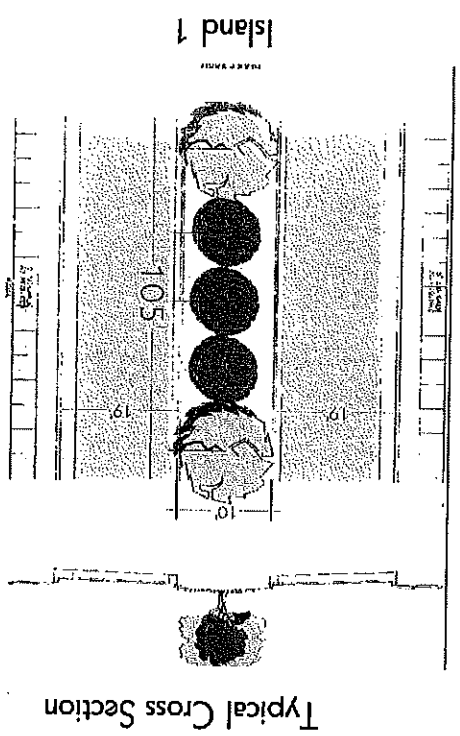
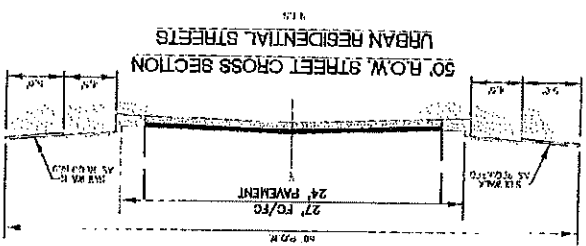
4. THE PLAN PROVIDES A COMPATIBLE STANDARD FOR DEVELOPMENT THAN THAT WHICH EXISTS IN THE AREA.

5. ADJACENT PROPERTIES HAVE EITHER BEEN APPROVED FOR DEVELOPMENT OF A SIMILAR CHARACTER OR ARE PROPOSED FOR DEVELOPMENT.

6. THE PLAN SATISFIES A PUBLIC NEED TO ACCOMMODATE THE HOUSING DEMAND RELATED TO CONTINUED ECONOMIC EXPANSION IN THE AREA.

XI. PLAN SUMMARY

THE Magnolia Glenn MASTER PLAN OUTLINES AND DESCRIBES A DEVELOPMENT THAT IS AN ENHANCEMENT TO EXISTING NEIGHBORHOODS IN THE AREA. ITS IMPACT ON THE SURROUNDING AREA IS MINIMAL. THE SITE HAS SUPERIOR ACCESS, PROVIDES FOR A REASONABLE TRANSITION OTHER DEVELOPMENTS IN THE AREA HAVE ESTABLISHED A TREND TOWARDS THE PATTERN OF DEVELOPMENT BEING SOUGHT. AS SUCH, THE DEVELOPER RESPECTFULLY REQUESTS THE APPROVAL OF THE PROPOSED DEVELOPMENT PLAN FOR Magnolia Glenn.



R-9 Templates

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Phone 662.349.7775

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PUD
Southaven, Mississippi

JONES-DAVIS & ASSOCIATES, INC.
8840 Hamilton Road
Southaven, MS 38671
662-344-1273 Office
662-342-3356 Fax

Chateau Pointe Sec. "C"

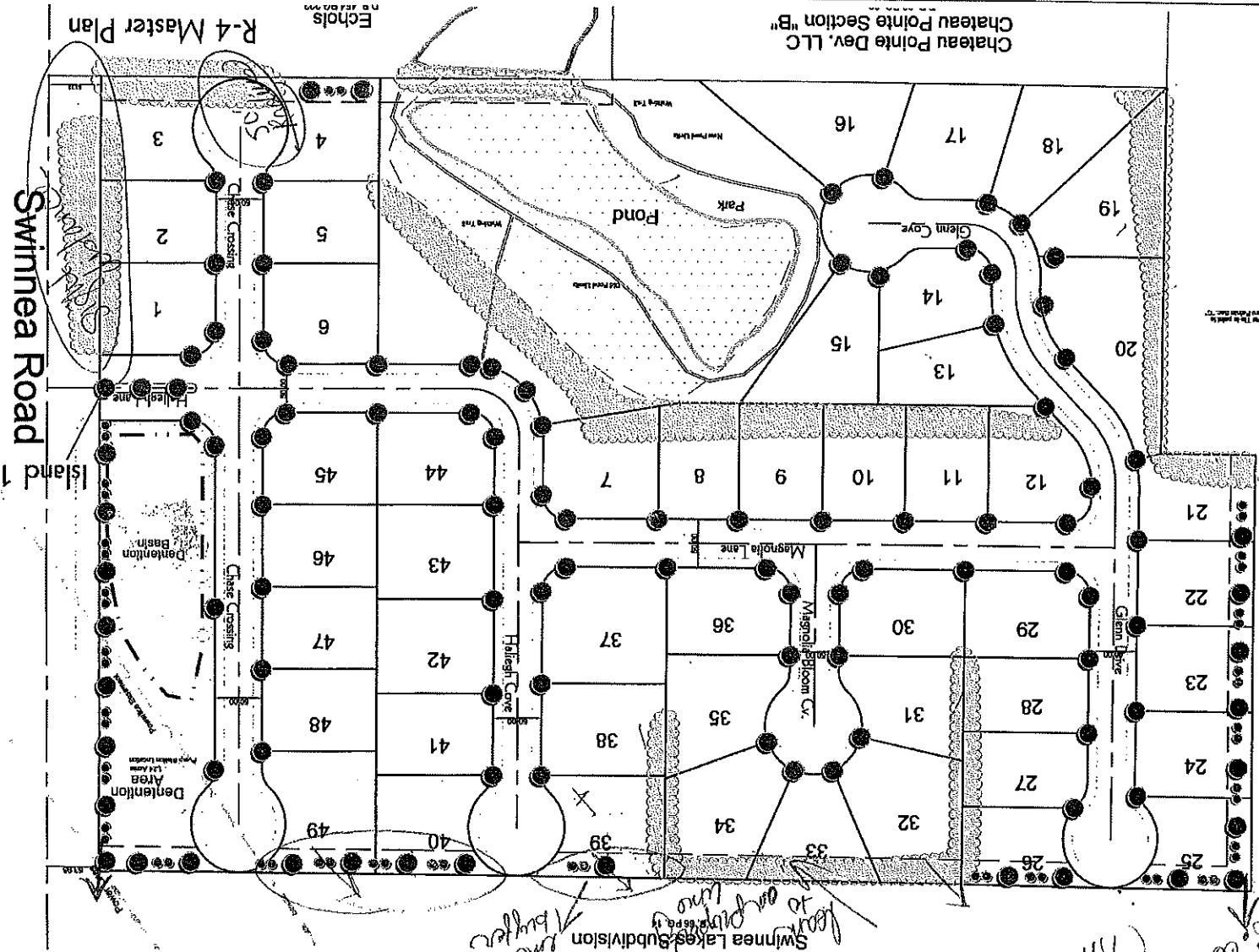
Billy Todd
Lot 7 Cont. 500
D.B. 258 Pgs. 509

#001-210-5074

www.burgumms.com
(Tina Linn?)

Chateau Pointe Dev. LLC
Chateau Pointe Section "B"

Echols
R-4 Master Plan

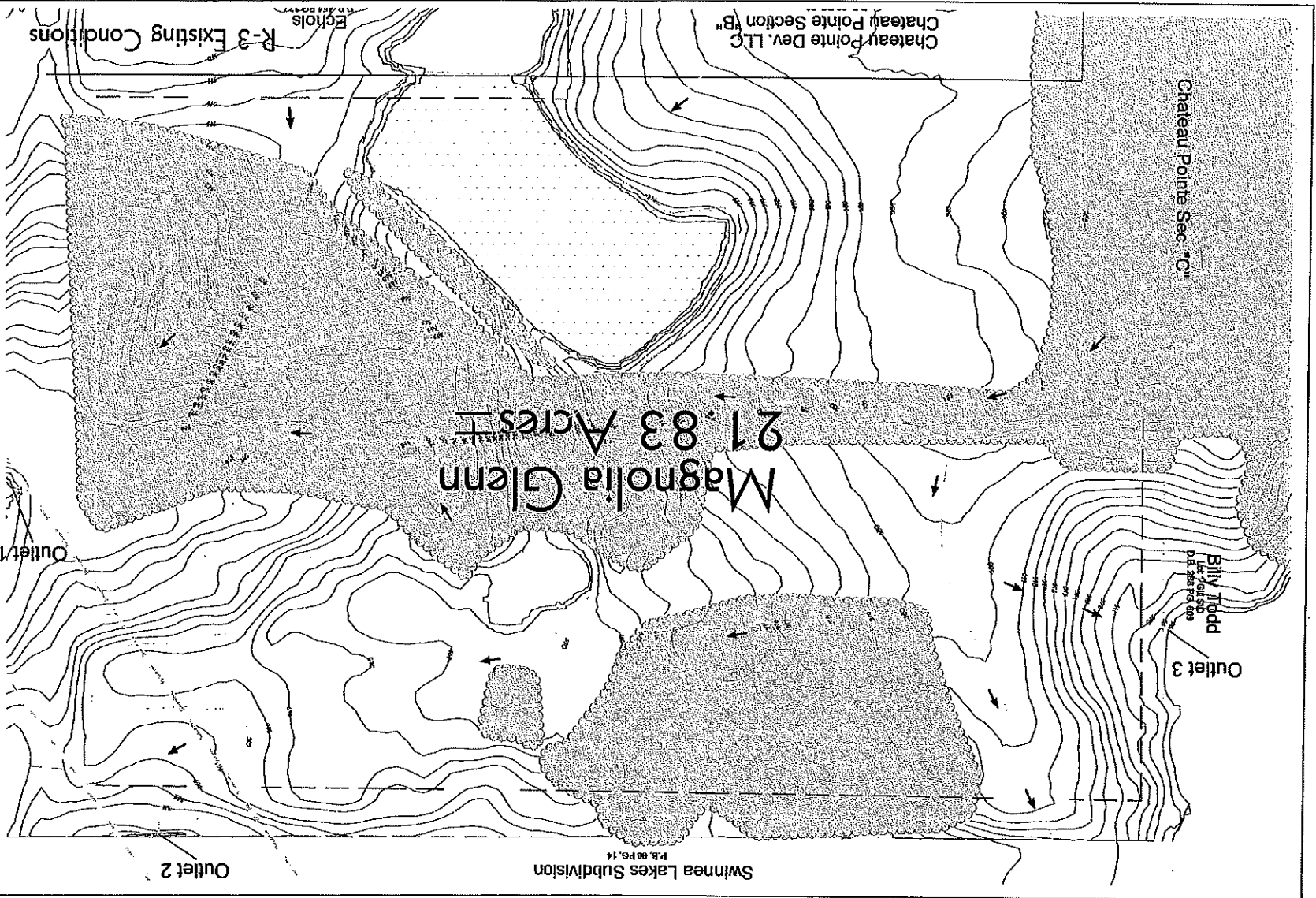


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City of Southaven
Office of Planning and Development
Subdivision Staff Report

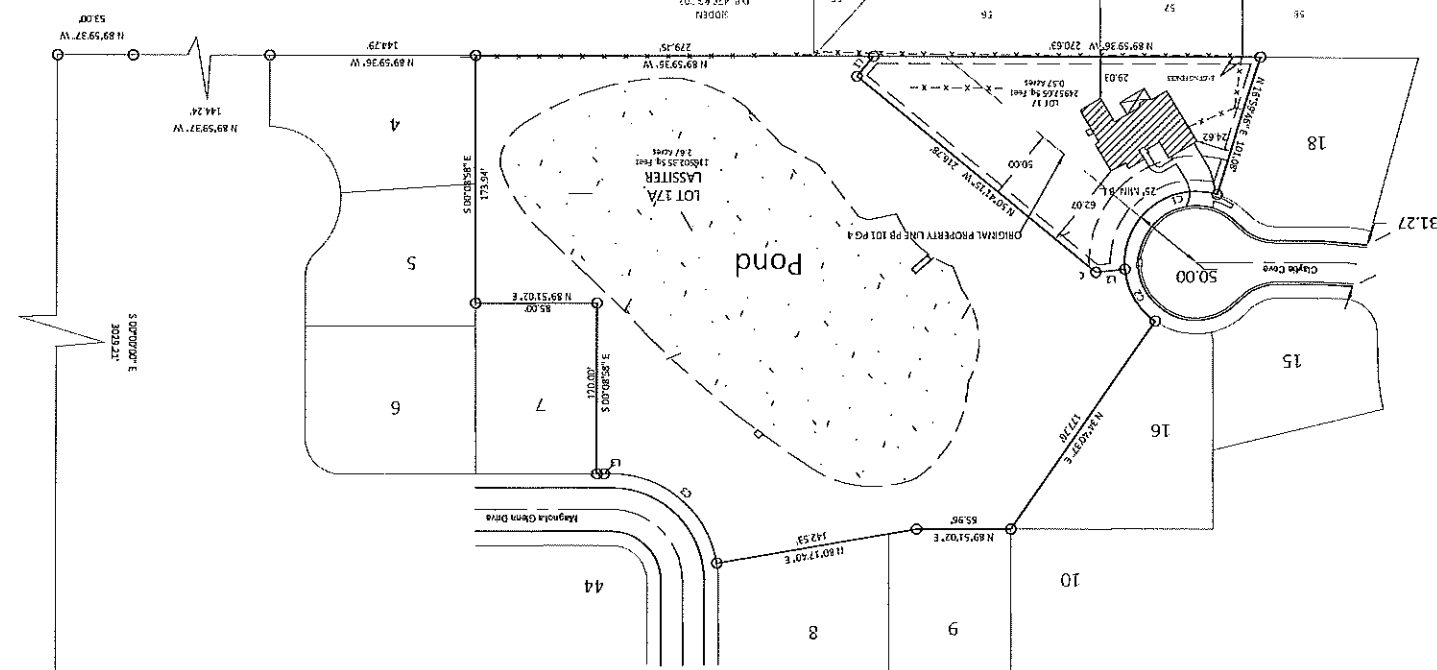


Date of Hearing:	February 28, 2022
Public Hearing Body:	Planning Commission
Applicant:	David Lassiter 845 Claytie Cove 901-254-3396
Total Acreage:	5.243 acres
Existing Zone:	Magnolia Glen PUD
Location of Subdivision Application	West side of Swinnea Road, north of Star Landing Road
Comprehensive Plan Designation:	Medium Density Residential
Staff Comments:	The applicant is requesting subdivision approval to revise lot 17 and the COS located in Magnolia Glenn Subdivision on the west side of Swinnea Road, north of Star Landing Road. The applicant owns both properties and is requesting to reduce the square footage of the COS and add it into the existing lot 17. At present time, the COS encompasses 2.928 acres and lot 17 has 0.339 acres. The proposed amendment would revise the COS to have 2.67 acres and lot 17 with 0.57 acres. Per the applicant the request is due to limitations on the existing lot with the ability to place a pool in the rear yard area. Additionally, the applicant would like to designate the COS as lot 17a for ownership purposes. There are no further changes requested.
Staff Recommendations:	The applicant has gone through the proper procedures for this to happen via the PUD amendment and the request for a variance. Pending both of these formal applications are approved, staff sees no issue with the minor changes which still allow the overall PUD to have the necessary 20% open space and recommends approval as submitted.

POINT	BEARING	LENGTH	COORDINATE	BEARING	ANGLE
C1	N 89° 51' 02" E	105.30'	89.5539	E	89.7538
C2	N 89° 51' 02" E	105.30'	89.5539	E	89.7538
C3	N 89° 51' 02" E	105.30'	89.5539	E	89.7538

LINE	BEARING	DISTANCE
11	N 89° 51' 02" E	105.30'
12	N 89° 51' 02" E	105.30'
13	N 89° 51' 02" E	105.30'

THE COMBINATION ACCEPTED
NORTHWEST CORNER OF THE
SECTION 18, TOWNSHIP 2 SOUTH,
RANGE 7 WEST, DESOTO COUNTY, MS.



CHANCERY PLAT SUBDIVISION
RECORDED IN
BOOK 101 PAGE 4

- SURVEY NOTES:**
1. BEARINGS RELATIVE TO THE SOUTH LINE OF MAGNOLIA GLENN SUBDIVISION RECORDED IN PLAT BOOK 101 PAGE 4 IN THE OFFICE OF CHANCERY CLERK IN DESOTO COUNTY, MISSISSIPPI.
 2. DATE OF SURVEY: JANUARY 2022
 3. THIS PROPERTY IS NOT LOCATED IN AN IDENTIFIED FLOOD HAZARD AREA, ACCORDING TO FEMA MAP NO. 28033C0090H, DATED 5 MAY 2014.
 4. 1/2" IRON PINS SET ON ALL FRONT AND REAR PROPERTY CORNERS, UNLESS OTHERWISE NOTED.
 5. WATER AND SEWER SERVICE TO BE PROVIDED BY THE CITY OF SOUTHAVEN.
 6. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE SEARCH, ONLY THE DOCUMENTS SHOWN WERE USED IN THE PREPARATION OF THIS SURVEY, THOUGH OTHER DOCUMENTS MAY AFFECT THIS PROPERTY, THERE MAY BE OTHER DOCUMENTS THAT ARE UNKNOWN TO THIS SURVEYOR THAT DIRECT SUPERVISION OF THE PHYSICAL FEATURES FOUND AND IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: ROBERT G. JONES, MS PLS 2614

- MINIMUM BUILDING SETBACKS**
- 25' FRONT YARD
 - 5' SIDE YARD
 - 20' REAR YARD
- UTILITY EASEMENTS**
- 10' FRONT YARD
 - 5' SIDE YARD
 - 5' REAR YARD



FIRST REVISION OF
MAGNOLIA GLENN SUBDIVISION
LOT 17 AND 17A
2 LOTS / 3.25 ± ACRES / ZONED: PUD
JANUARY 2022
LOCATED IN SECTION 18, TOWNSHIP 2 SOUTH,
RANGE 7 WEST,
CITY OF SOUTHAVEN, COUNTY OF DESOTO,
STATE OF MISSISSIPPI



City of Southaven
Office of Planning and Development
Design Review Staff Report



Date of Hearing:	February 28, 2022
Public Hearing Body:	Planning Commission
Applicant:	Hylander LLC c/o Spence Ray 1468 Kimbrough Road Suite 103 Germantown, TN 38138 901-322-4801
Total Acreage:	5.243 acres
Existing Zone:	Planned Unit Development (Snowden Farms)
Location of Design Review Application	West side of Getwell Road, north of May Blvd.
Comprehensive Plan Designation:	Mixed Use

Staff Comments:

The applicant is requesting design review approval for two mixed use buildings located on lot 7 of Snowden Farms Phase B District 16. The following items were submitted:

Building Elevations:

The applicant is proposing a four (4) story mixed use buildings with commercial/office on the first floor and lofts on the three floors above. The building is constructed of brick and limestone. The brick is shown in Cherokee-Nola blend which has an aged red tone to the brick with a light buff mortar used in a manner to enhance an aged look to the building. The limestone is a quarry cut large rectangular design shown in a light buff color. Both of these materials have been proposed to carry the pedestrian bridge color palette over to this site. The majority of the building is shown in the brick; however along the front and side views, the applicant has incorporated the limestone into every section but at different levels. The center section of the buildings use the limestone to encompass the entire first and second floor while the adjacent sections on both sides use it for a wainscot area only. The endcap sections bring the limestone up the entire first floor and then carry the brick beyond that. On the north and south ends of both buildings the applicant has created a decorative vertical band with the limestone which mimics the specs of the adjacent window lines and utilizes a decorative diamond accent medallion to further enhance the look. These variations break up the long linear frontage of both buildings. To continue breaking up the long lines of the building the parapet heights have been varied along the front and rear of the building and portions of the parapet line have used a limestone accent band while other areas carry the brick up to the roof line. There are large sections of the buildings that have been recessed to give additional

depth to the linear frontage and rear of the building. The applicant has used several types of windows including a standard rectangular large pane window, a moderate arched window shown in the center section of both buildings on the second floor and a high arched line window shown on each end section on the top floor. The office/commercial area on the bottom floor uses large storefront glass windows all of which are shown with the bronze trim. Juliet balconies in black wrought iron have been added on the third story window line to add another decorative element to the elevation. Additionally the applicant has shown decorative diamond accent medallions in the limestone and brick which gives an elegant and aged look to the building. Between the two buildings the applicant has proposed a skywalk bridge that will carry from the second floor of one building to the other building. The bridge is proposed as black steel with decorative lighting on the exterior and soft down lighting on the interior which will draw attention to this element. The amenities including pools, fire pits, and recreation areas situated on the back of both buildings on the second floor level. Below the second floor there is resident parking. Although signage is not normally addressed in design applications, it should be noted that the applicant is using signage as a decorative element on this site with the inclusion of the floating sign above the skywalk as well as the blade signs shown at the ends of both buildings. Another decorative element regarding signage is located along Getwell Road and it is a floating sign situated in a water feature.

The photometric plan was submitted which shows two types of wall mount lighting for the exterior both of which have a modern appeal to them and are shown in black. The decorative acorn lighting which matches the surrounding areas has been shown around the perimeter of the building and along the streetscapes.

Landscaping:

The landscape plan incorporates the following materials:

Plant Identifier	Scientific Name	Common Name	Quantity	Unit	Weight (kg)	Volume (L)	Notes
TREES							
ACER BIFIDIPETIOLUM		TRIDENT MAPLE	4	EA	17		WELL-ARBORED, FLR
CAMPIDIA PETIOLUS COULANENSIS		COULANIAN PAPERBARK	4	EA	15.32		WELL-ARBORED, FLR
CELESTIS CAMANOSUS TORRESI PANS*		FOREST TANGAR RANGER	15	EA	7.5*		WELL-ARBORED, STRONG
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CELESTIS CAMANOSUS TORRESI PANS*		FOREST TANGAR RANGER	15	EA	7.5*		WELL-ARBORED, STRONG
CELESTIS CAMANOSUS TORRESI PANS*		FOREST TANGAR RANGER	15	EA	7.5*		WELL-ARBORED, STRONG
CELESTIS CAMANOSUS TORRESI PANS*		FOREST TANGAR RANGER	15	EA	7.5*		WELL-ARBORED, STRONG
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CELESTIS CAMANOSUS TORRESI PANS*		FOREST TANGAR RANGER	15	EA	7.5*		WELL-ARBORED, STRONG
CELESTIS CAMANOSUS TORRESI PANS*		FOREST TANGAR RANGER	15	EA	7.5*		WELL-ARBORED, STRONG
CELESTIS CAMANOSUS TORRESI PANS*							

Along the Getwell Road streetscape the applicant is showing a single line of the Forest Pansy rebuds spaced at a 1:35 ratio. There is a double staggered line of shrubs which alternate materials in sections as it goes down the linear frontage. This area includes the Carissa holly, knockout roses, distylium, Nick juniper holly, rose creek abelia and dwarf fountain grass. On the interior roadways the applicant has transitioned to Athena elms for the trees and double rows of Stokes holly and fountain grass for the shrubs. At the entry points the applicant is showing Columnar hornbeams and Natchez crape myrtles along with seasonal flowers and day lilies. On the west side of the lot (rear side) the applicant has a tight line of Sweetbay magnolia and Blue point junipers designed to screen this lot from the adjacent property. Additional Gulfstream nandina shrubs have been placed with the magnolias in a single line. The parking lot medians on the outside boundaries show a single Willow oak tree while the interior medians propose a single Sweetbay magnolia or a Trident maple. Two inset areas along each building show a planting bed with hostas and Girard azaleas. The sidewalk along the shop areas have raised planters with a tree form Althea. Additional plantings on site include an area on the second floor on the rear of the building where the pools and recreational areas are shown. The applicant is showing a single tight line of Arnold tulip poplars and a row of the loropetalum both in front of a decorative iron railing. Decorative fountain grass and hollies are placed at each end.

Decorative fencing specs have been shown with brick columns, six foot sight proof fencing and finials topping the main structure braces.

Staff Recommendations:

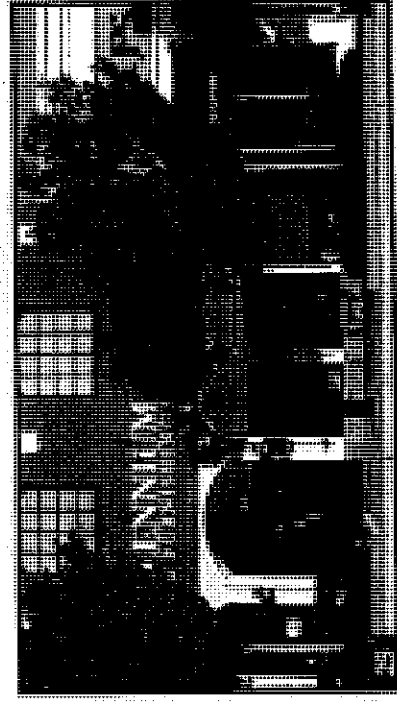
Staff has worked with the applicants design team for months on this site. The applicant has proven this to be a high quality design that will be a positive element for the Snowden District as well as a complimentary site to Silo Square. The amenities shown here have not been proposed or constructed anywhere in the Desoto County area which will create a new product to our county. The raised pool and recreation areas, water features and skywalk between the buildings set this site apart from any other development in our area. Staff has no comment regarding the building elevations. Staff also has not comment regarding the landscape as it is a very diverse mixture for the site. Staff cannot determine where the fencing details come into play as there is nothing shown along the boundary lines for screening and it does not identify the fencing around the dumpster. Staff will note, that the dumpster will need to be screened with a solid masonry fence that is one (1) foot above the highest point of the dumpster. Any other areas that are shown to incorporate a fence line are allowed to use the specs shown on the landscape plan. Staffs only concern is the decorative lighting. This site has a historical yet modern appeal to it and the proposed decorative arms selected seem too ornate for this project. It is staffs suggestion that the applicant find a more simplified version of the arm to follow with the overall design of the site.

Staff has no further comments and recommends approval with the stated changes.

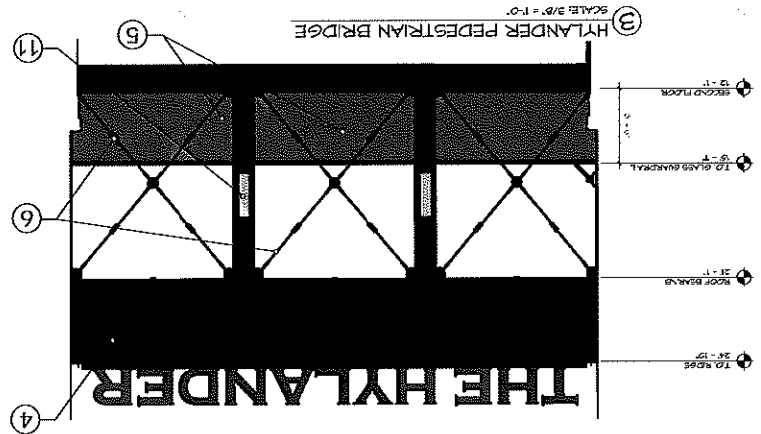
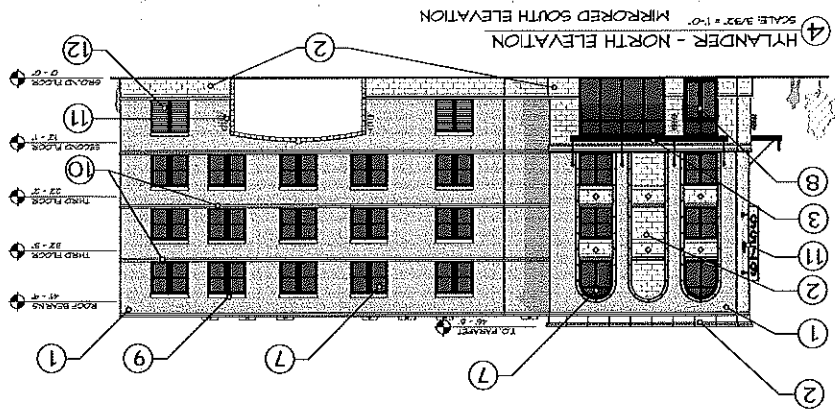
February 14, 2022

1:4,514
0 0.0375 0.075 0.15 mi
0 0.05 0.1 0.2 km



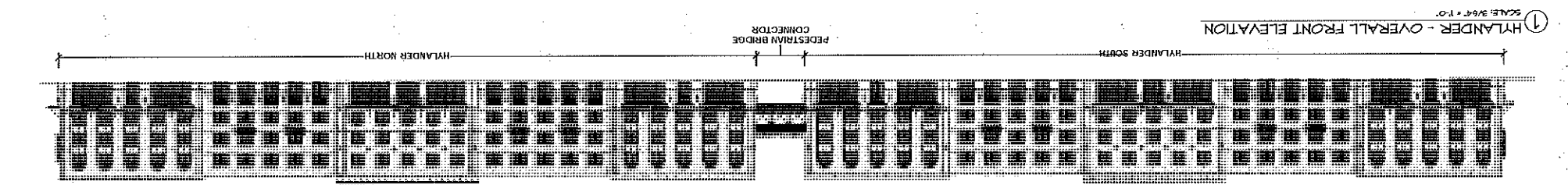
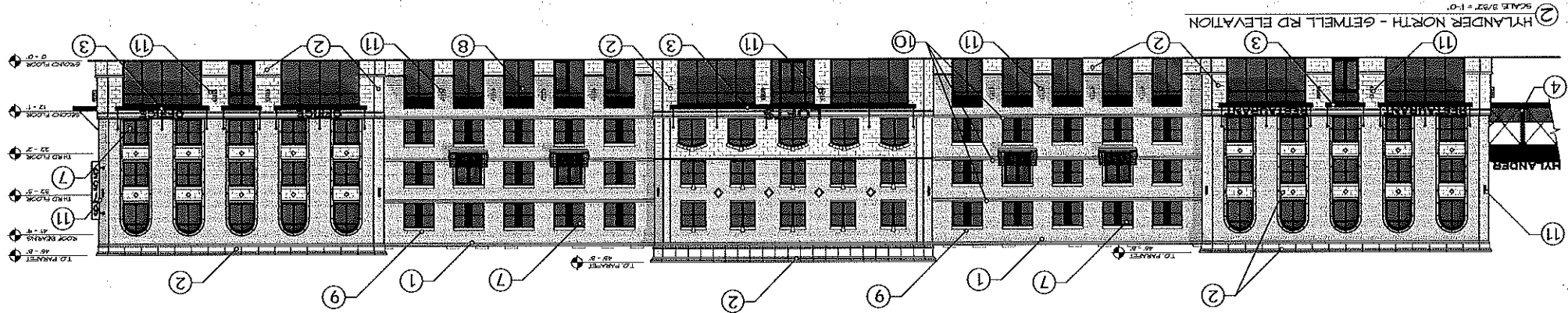


BUILDING ELEVATIONS

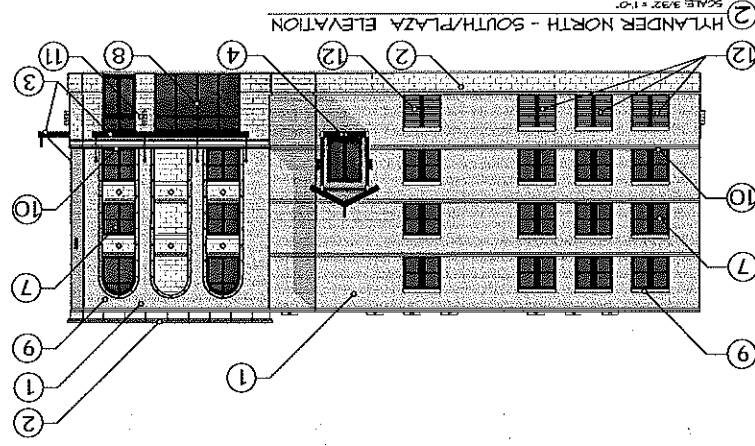
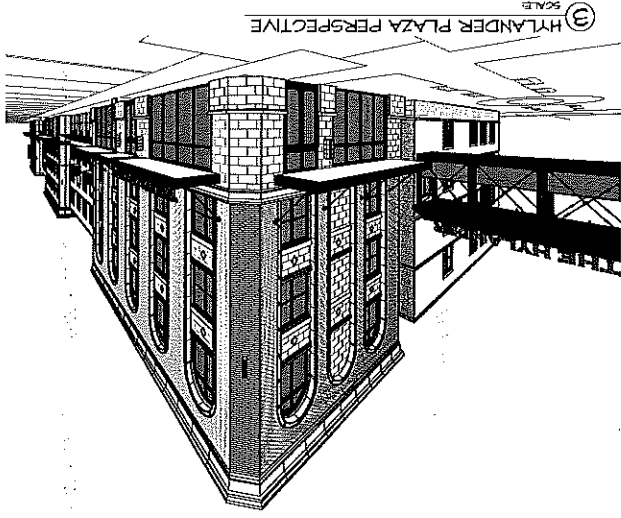


- 1 BRICK VENEER
- 2 Limestone veneer
- 3 COLOR: BUFF
- 4 SUSPENDED METAL CANOPIES
- 5 COLOR: TRICOIN BLACK SATIN FINISH
- 6 COLOR: TRICOIN BLACK SATIN FINISH
- 7 STEEL X-BRACING
- 8 COLOR: TRICOIN BLACK SATIN FINISH
- 9 ALUMINUM CLAD DOUBLE HUNG WINDOWS
- 10 COLOR: OAKER BROWN
- 11 PREFINISHED ALUMINUM STOREFRONT
- 12 WINDOW HEADERS - LIMESTONE HEADERS
- 13 WINDOW SILLS - LIMESTONE SILLS
- 14 EXTERIOR WALL SCONCES
- 15 - SEE PHOTO METRICS FOR SPECS
- 16 STEEL LOWERS - GARAGE VENTILATION
- 17 COLOR: BLACK FRAMES / BUFF BLADES

GENERAL NOTE:
ALL HVAC UNITS ARE CONCEALED BEHIND ROOFTOP PARAPETS (NO UNITS TO BE LOCATED AT GRADE)

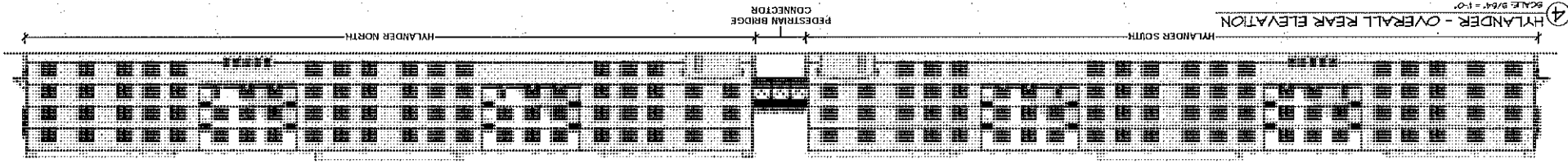
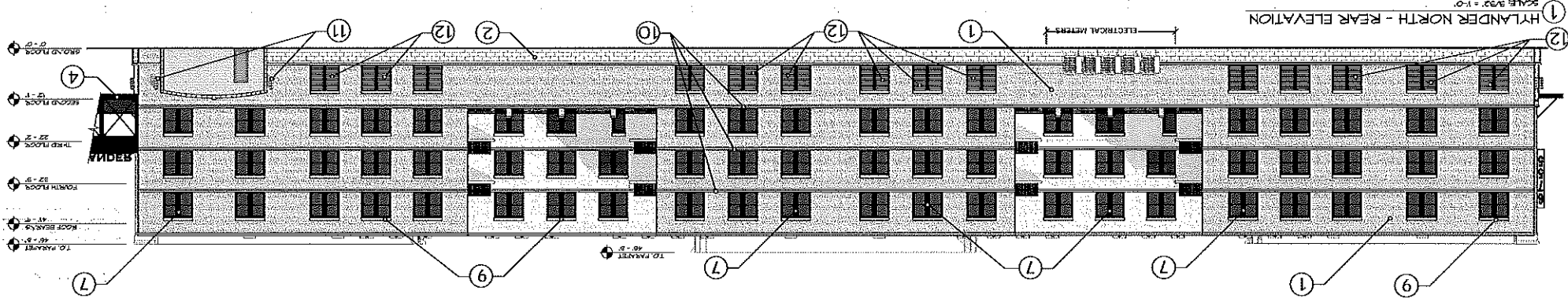


BUILDING ELEVATIONS



GENERAL NOTE:
ALL HVAC UNITS ARE CONCEALED BEHIND ROOFTOP PARAPETS (NO UNITS TO BE LOCATED AT GRADE)

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|----|------------------------------------|
| 1 | BRICK VENEER |
| 2 | TYPE: NOLA BLEND BY CHEROKEE BRICK |
| 3 | IMBESTONE VENEER |
| 4 | COLOR: BUFF |
| 5 | SUSPENDED METAL CANOPIES |
| 6 | COLOR: TRICORN BLACK SATIN FINISH |
| 7 | STEEL, OPEN-AIR PEDESTAL BRIDGE |
| 8 | COLOR: TRICORN BLACK SATIN FINISH |
| 9 | GLASS GUARDRAIL |
| 10 | TYPE: WATERFALL GLASS |
| 11 | STEEL, X-BRACING |
| 12 | COLOR: TRICORN BLACK SATIN FINISH |
| 13 | ALUMINUM CLAD DOUBLE HUNG WINDOWS |
| 14 | COLOR: QUAKER BROWN |
| 15 | PAINTED ALUMINUM STOREFRONT |
| 16 | COLOR: TRICORN BLACK SATIN FINISH |
| 17 | WINDOW HEADERS - LIMESTONE |
| 18 | COLOR: BUFF |
| 19 | WINDOW SILLS - LIMESTONE |
| 20 | COLOR: BUFF |
| 21 | EXTERIOR WALL SCANCES |
| 22 | - SEE PHOTOGRAPHICS FOR SPECS |
| 23 | STEEL LOUVERS - GARAGE VENTILATION |
| 24 | COLOR: BLACK FRAMES / BUFF BLADES |





REBUILDINGS

THE HYLANDER
1000 10th St. S.W.
ALBANY, N.Y. 12206

URBANARCH





RENDERINGS

THE HOLLANDS
A NEW RESIDENTIAL DEVELOPMENT
IN THE HEART OF DOWNTOWN
PHILADELPHIA

URBANARCH

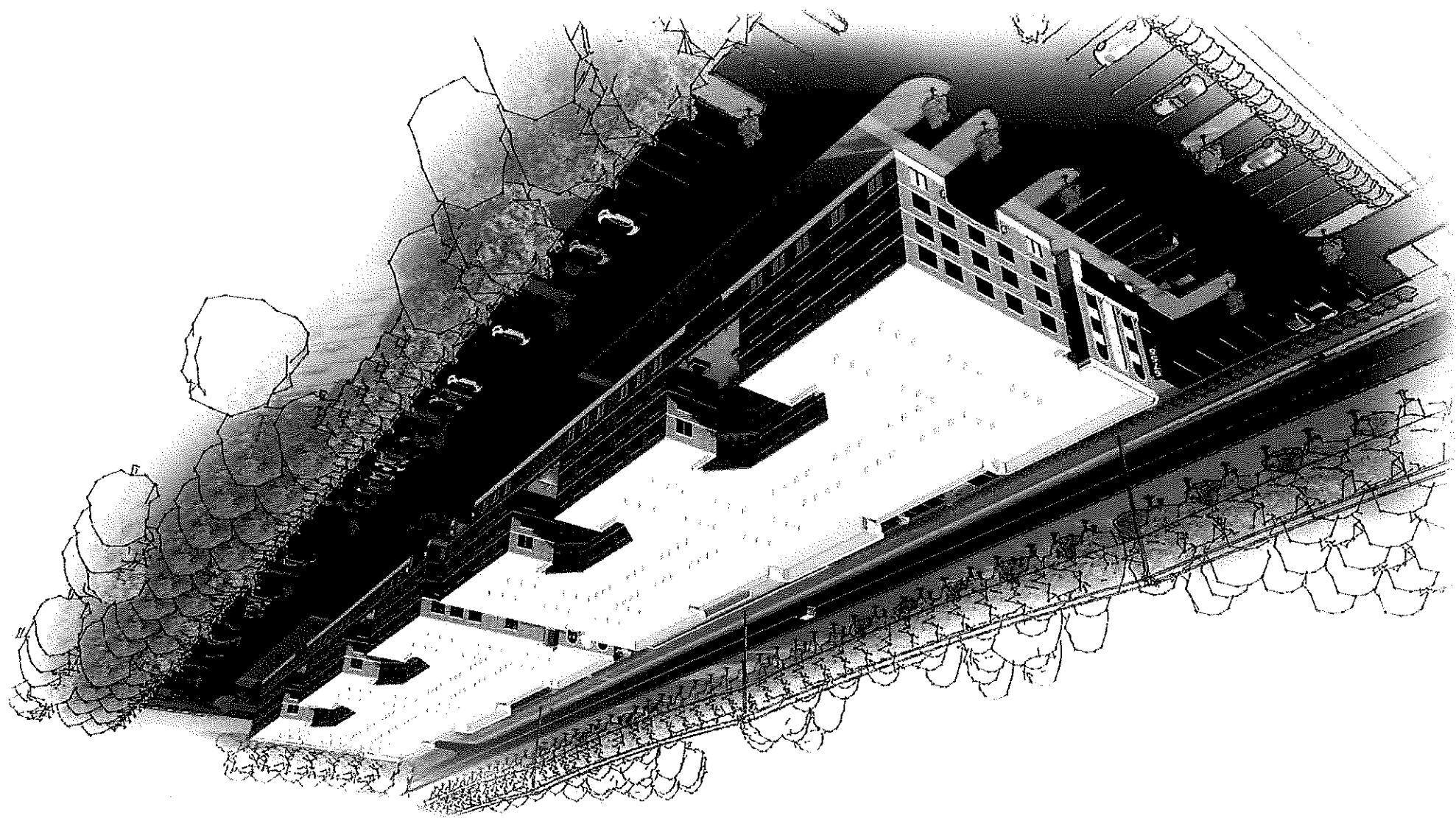


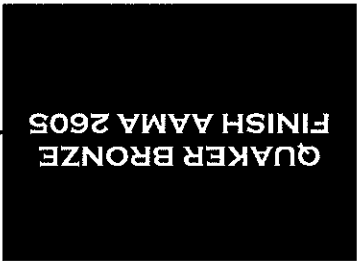


AERIAL RENDERING

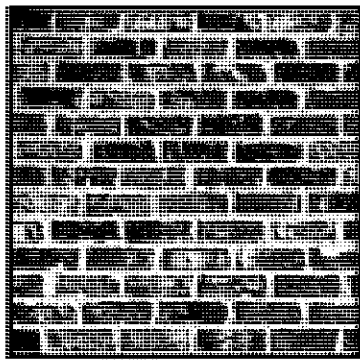
THE WILKINSON / 02.01.02
ARCHITECTURAL FIRM, INC.

URBANARCH





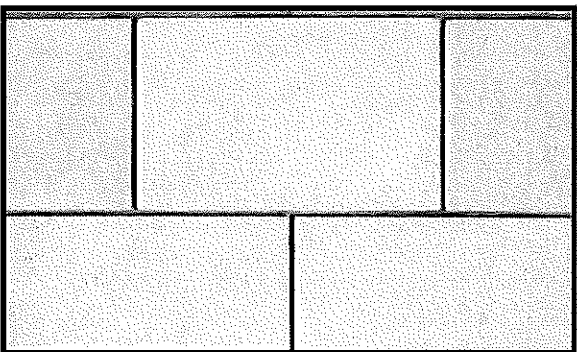
- *EXTERIOR WINDOWS SHALL BE ALUMINUM CLAD WOOD FRAMES**



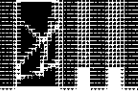
NO LA BLEND
CHEROKEE

BRUCK
EST. 1917

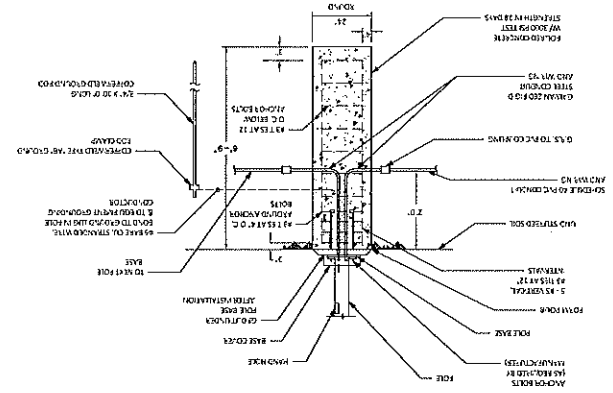
- PROPOSED FOR FULL BUILDING PERIMETER ABOVE LIMESTONE MAINSCOT & AT SITE AMMENITIES SUCH AS: FRONT FOUNTAIN & REAR DUMPSTER ENCLOSURES



- FULL BED DEPTH BUFFER
- LIMESTONE MASONRY VENEER TO BE LOCATED BENEATH WAINSCOT ALONG FULL BUILDING PERIMETER (HEIGHTS VARY ALONG FACADE)
- LIMESTONE WILL ALSO BE UTILIZED FOR WINDOW SILLS, HEADERS & SITE AMENITIES.



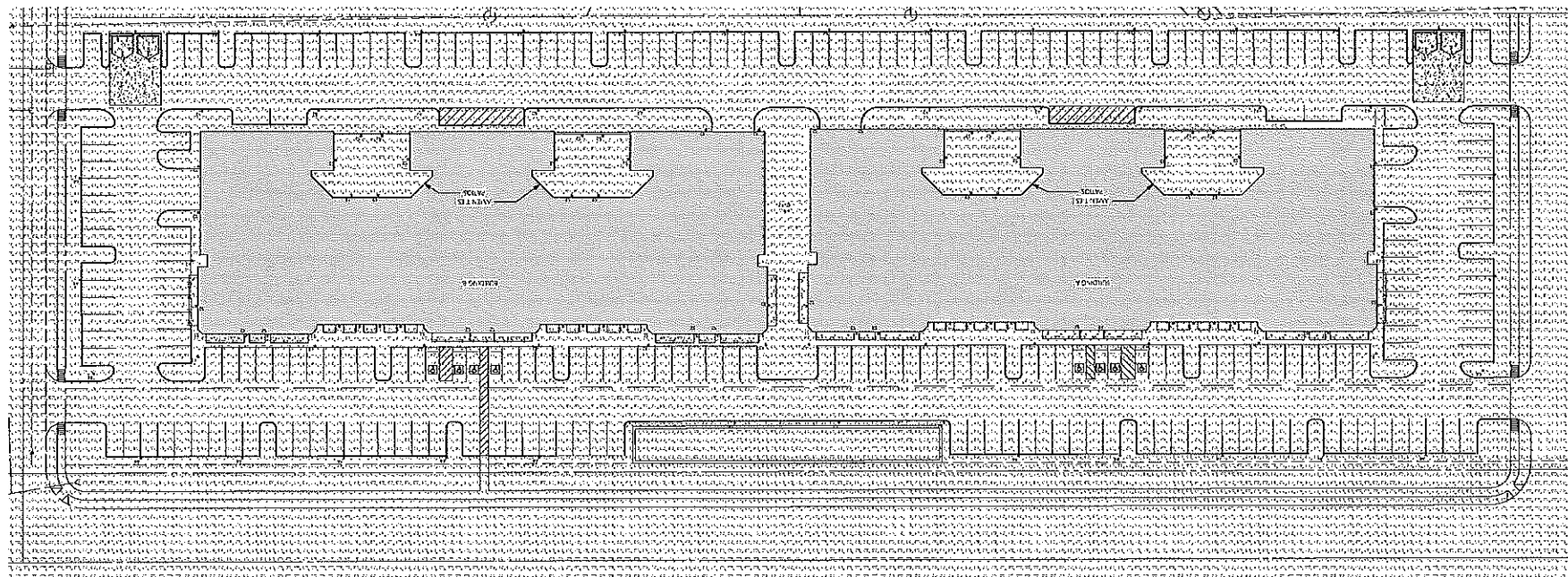
2. Light Pole Base Detail - Flush With Grade



Item	Description	Manufacturer	Model	Lamp	Electrical Data	Comments
A2	Two Head Area Light	(2) FGS-RB-SAL-V2-36LED-4K-450-BLT	LED	4000 K	120 V/1-100 VA	Mount on NOV American 58713 Pole w/ Flush Pole Base & VTA12011 Arm
A1	Type 4 Area Light	FGS-RB-SAL-V2-36LED-4K-450-BLT	LED	4000 K	120 V/1-43 VA	Mount on NOV American 58713 Pole w/ Flush Pole Base
D1	Surface Mounted Downlight	66-881 + K4 BLK	LED	4000 K	120 V/1-12 VA	Mount According to Architectural Elevations
S2	LED Square Wall Sconce	DE-200 PT 1MA-E45-40-DO 120 V/1 R1	LED	4000 K	120 V/1-45 VA	Mount @ 6' AFF

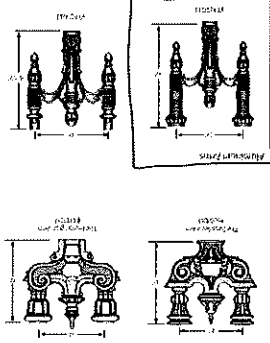
Lighting Fixture Schedule			
Item	Description	Manufacturer	Model
1	10' H Pole	NOV	58713
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3	10' H Pole	NOV	58713
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1. SITE PLAN - PHOTO MOUNTING

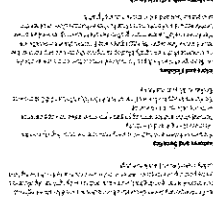


Urban ARCH
THE HYLANDER / 02.01.22
408 South Main Street, Memphis, TN 38103
901.578.2173 | www.urbanarch.com

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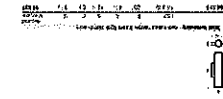


maison™ Decorative Arm



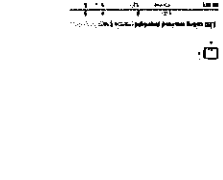
Amelon™
Contemporary
Series 5B1 / 5B7
Octagonal Pole

Ways to save place time



Background

1. **Introduction**
 2. **Background**
 3. **Methodology**
 4. **Results**
 5. **Discussion**
 6. **Conclusion**
 7. **References**
 8. **Appendix**
 9. **Figure 1**
 10. **Figure 2**
 11. **Figure 3**
 12. **Figure 4**
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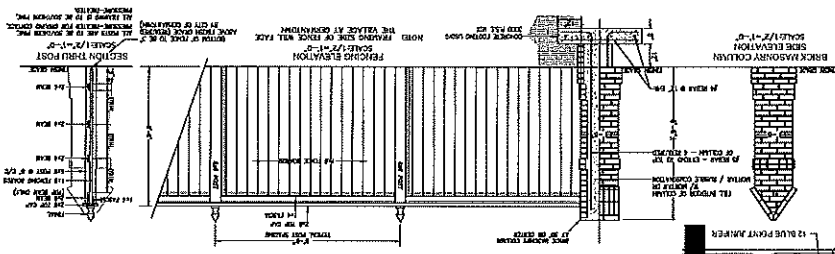
Zusammenfassung

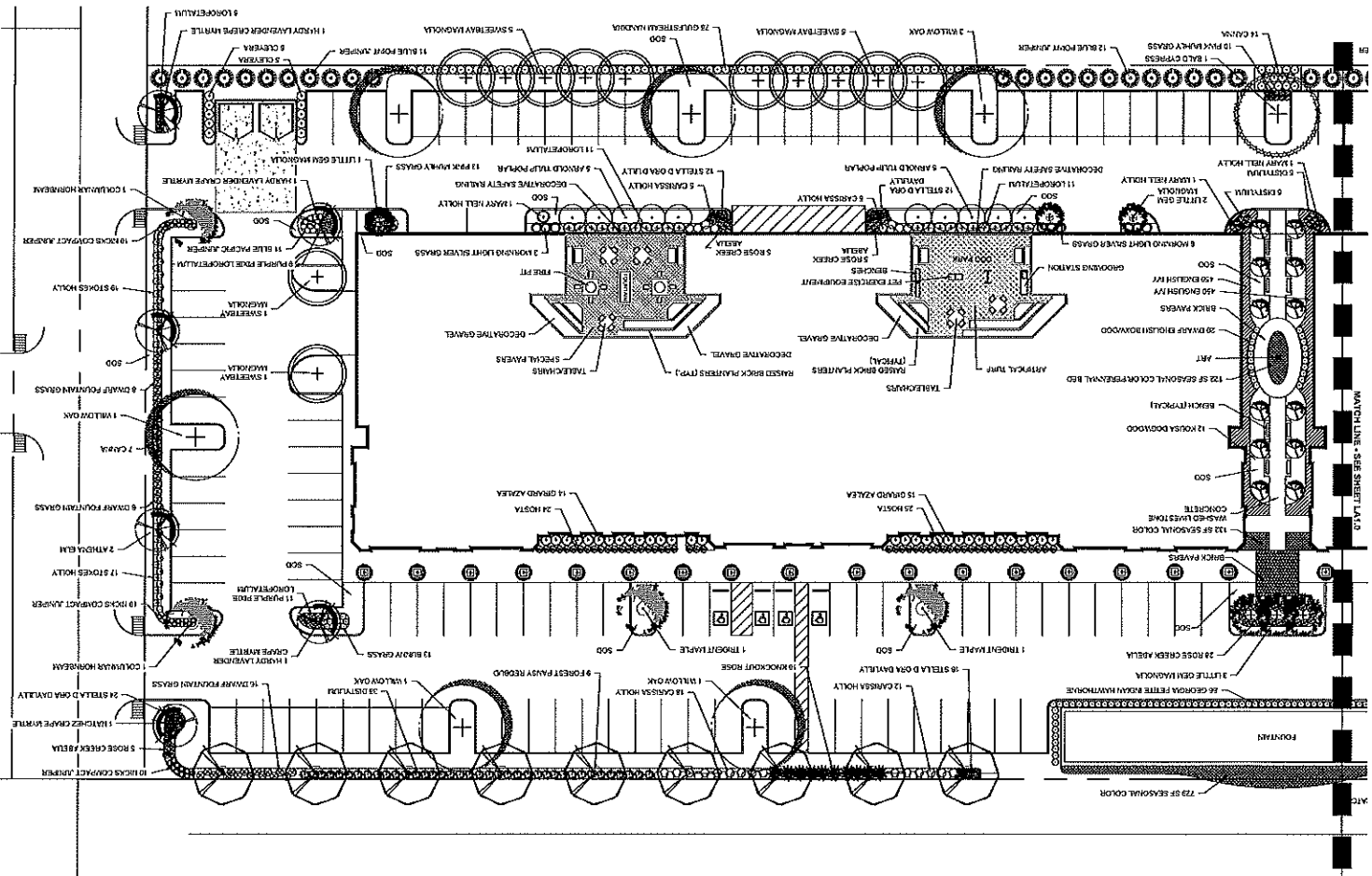
[illegible][illegible]

FG5 - Federal Global LED - Small Housing Scale

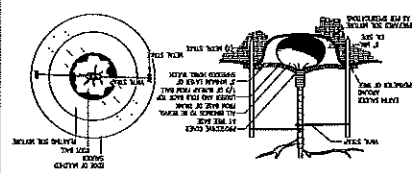
1000-2000 2000-3000 3000-4000 4000-5000 5000-6000 6000-7000 7000-8000 8000-9000 9000-10000

52

[illegible]

[illegible]

3	Med.-Large Deciduous Tree Planting Detail	10/2/2018
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2	Shrub Planting Detail
---	-----------------------



1	Evergreen tree planting Detail
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City of Southaven
Office of Planning and Development
Design Review Staff Report



Date of Hearing:	February 28, 2022
Public Hearing Body:	Planning Commission
Applicant:	Will Patton 3500 Goodman Road Suite C Horn Lake, MS 38637 662-671-9410
Total Acreage:	0.498
Existing Zone:	Planned Unit Development (Dickens Place)
Location of Design Review Application	Southwest corner of Getwell Road and College Road
Comprehensive Plan Designation:	Commercial

Staff Comments:

The applicant is requesting design review approval for a State Farm office building to be located on the southwest corner of Getwell Road and College Road. The following items were submitted:

Building Elevations:

The applicant is proposing a solid brick building show in Cherokee Brick- Hard Tan. The applicant has used a soldier line of the brick over the windows on all four elevations to provide some depth the brick facade. The roof is pitched with a hip line on the main structure and there are secondary roof lines which are shown with standard low residential pitch lines. The roof is shown in architectural shingles in an earth tone color. The windows are paned residential design and there is a large window line on the rear of the building which is designed to mimic the storefront on the front of the building. There is a covered canopy area at the storefront which matches to the rear access area that incorporates both a brick base along with a cedar wood element.

The photometric design submitted with this application two types of lighting including the standard parking lot lights as well as the decorative acorn ones. Per the submitted plan the applicant is proposing the decorative lights down the east side of the drive off of College Road and a single standard light at the south end of the interior drive.

Landscaping:

The landscape plan incorporates the following materials:

Shade trees- Allee Lacebark Elm with unidentified caliper

Ornamental trees- Moonglow Sweetbay magnolia with unidentified caliper

Shrubs: Little Lime hydrangea, Dwarf Burford holly, Cinnamon Girl distylium with unidentified

Staff Recommendations:

The materials shown for the building are compliant and tie in an element of both the residential areas in close proximity to this site as well as the veterinarian clinic that is just south of this site. Staff believes the elevations to meet the standards and has no further recommendations regarding them.

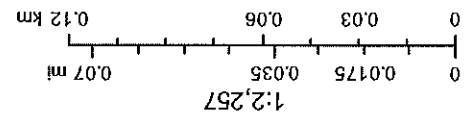
The city ordinance now requires all commercial buildings to have a commercial dumpster as opposed to the cart system. The applicant will need to designate an area with on this site or just off the access in the future development area for a shared dumpster and it will need to meet the material requirements of this building.

The lighting specs submitted meet the requirements in terms of having a decorative element; however, it is standard that these lights be incorporated into the streetscape design. The applicant needs to either relocate the ones he shows down the driveway into the College Road area and add additional ones on the Getwell Road side or he may opt to keep them in their proposed location but will also need to add additional lights along both College Road and Getwell Roads streetscape.

The landscape materials and the planting design are acceptable by staff but the applicant needs to provide the minimums sizes and have those sizes meet the minimum requirements set forth in the ordinance which states that shade trees have a minimum of 3.5" caliper, ornamental trees have a 2.5" caliper and all shrubs have a minimum of 5 gallons. The applicant can agree to this at the formal hearing which can be put in the certified minutes as a regulatory control during construction.

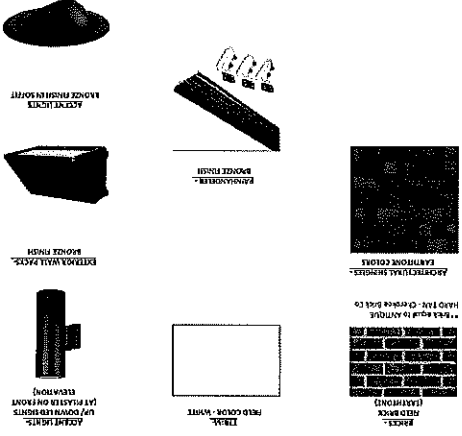
Staff recommends approval with the stated comments.

February 14, 2022





18 Sample Materials



SD102

SCHEMATIC

DESIGN

REVISIONS

Checked by: DWT

Drawn by: JH

Date: 1/24/2022

Project No: 21160

New State Farm Office

Patton State Farm

5W Getwell & College

Southaven, MS 38672

ARCHITECTURAL

CONSTRUCTION

resources for

& energy

construction

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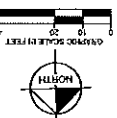
resources for

& energy

construction



NOT FOR
CONSTRUCTION

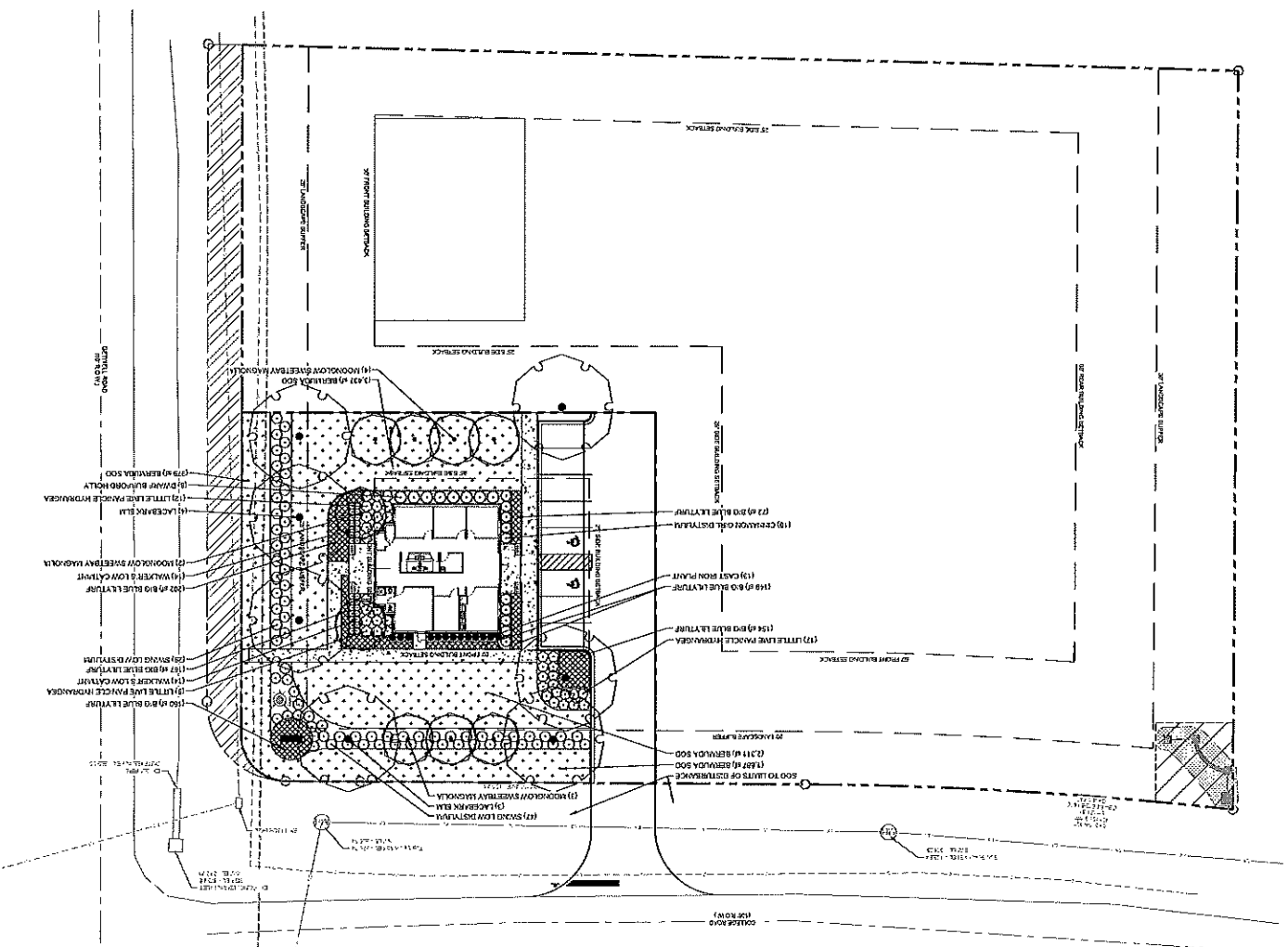


DEBOTO COUNTY

Mississippi

DATE	02/11/2022
ISSUED BY	KHA PROJECT
DRAWN BY	15387000
CHECKED BY	

Kimley»»Horn
 #2012 NINECT HORN AND ASSOCIATES, INC.
 8700 POPULAR AVENUE, SUITE 300, MCKINNEY, TX 75068
 PH: (972) 361-8129
 WWW.KIMLEY-HORN.COM

[illegible]



City of Southaven

Oath of Office

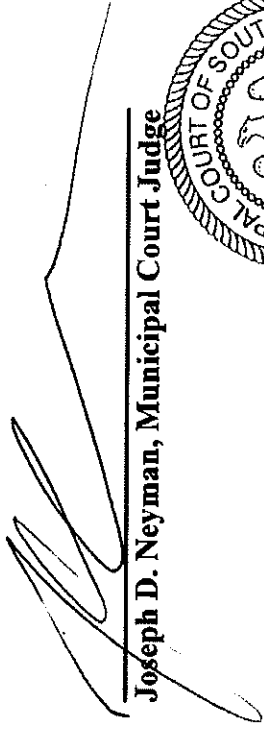


I, Karen Mullen, do solemnly swear that I will faithfully support the Constitution of the United States and the Constitution of the State of Mississippi and obey the laws thereof; that I am not disqualified from holding the office of Deputy Court Clerk, and that I will faithfully discharge the duties of the office upon which I am about to enter, SO HELP ME GOD.

Signed

Karen Mullen

Sworn to and subscribed before me this the 16th day of March 2022.



Joseph D. Neyman, Municipal Court Judge



City of Southaven

Oath of Office



I, Michelle Bray, do solemnly swear that I will faithfully support the Constitution of the United States and the Constitution of the State of Mississippi and obey the laws thereof; that I am not disqualified from holding the office of Deputy Court Clerk, and that I will faithfully discharge the duties of the office upon which I am about to enter, SO HELP ME GOD.

Signed

Sworn to and subscribed before me this the 16th day of March 2022.

Joseph D. Neyman, Municipal Court Judge



City of Southaven

Oath of Office

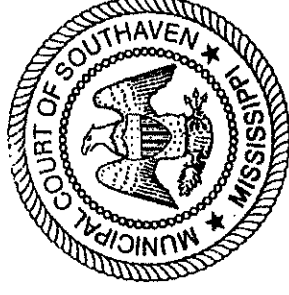


I, Paige Hibbler, do solemnly swear that I will faithfully support the Constitution of the United States and the Constitution of the State of Mississippi and obey the laws thereof; that I am not disqualified from holding the office of Deputy Court Clerk, and that I will faithfully discharge the duties of the office upon which I am about to enter, SO HELP ME GOD.

Signed Paige Hibbler

Sworn to and subscribed before me this 16th day of March 2022.

Joseph D. Neyman
Joseph D. Neyman, Municipal Court Judge



City of Southaven

Oath of Office



I, Tonya Yates, do solemnly swear that I will faithfully support the Constitution of the United States and the Constitution of the State of Mississippi and obey the laws thereof; that I am not disqualified from holding the office of Deputy Court Clerk, and that I will faithfully discharge the duties of the office upon which I am about to enter, **SO HELP ME GOD.**

Signed _____

Sworn to and subscribed before me this the 16th day of March 2022.

Joseph D. Neyman
Joseph D. Neyman, Municipal Court Judge





The City of Southaven Docket Recap

March 22, 2022

General Fund		2,097,945.97
Balance Sheet	1,322.02	
Mayor Admin	152.08	
Board of Aldermen	-	
Arts And Cultural Affairs	8,330.55	
Court	119,394.53	
Finance & Administration	944.13	
Information Technology	72,477.81	
City Clerk	2,881.83	
Operations Department	1,014.88	
Planning & Engineering	20,675.23	
Emergency Services	3,202.80	
Police	173,738.91	
Fire	39,395.81	
Fire Prevention	1,710.17	
EMS	29,774.36	
Public Works	69,324.56	
Streets	86,732.51	
Parks	151,703.12	
Park Tournaments	51,633.05	
Code Enforcement	1,572.86	
City Fuel	28,603.56	
Expense Accounts	1,196,656.99	
Administrative Expenses	-	
Litigation	36,704.21	
Liability Insurance	-	
Professional Dues	-	
Bond Funded CAP Proj		149,649.78
Tourist & Convention		15,036.71
Debt Service		-
Utility Fund		839,656.82
Sanitation Fund		267,224.38
Payroll Fund		862,151.70
DOCKET TOTAL		4,231,665.36



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CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET C-032222

P 1
apinvgl

YEAR/PERIOD: 2022/1 TO 2022/6	ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION
0010									GENERAL FUND
0010	500700								RECREATIONAL FEES
	035303 GASCHK MATTHEW	99916	0	2022	6	INV A	65.00	C-032222	REFUND FOR SPRING 2
	035304 BROWN KAYLE	99917	0	2022	6	INV A	65.00	C-032222	REFUND FOR SPRING 2
							130.00		ACCOUNT TOTAL
							130.00		ORG 0010 TOTAL
111									MAYOR ADMIN DEPARTMENT
111	626900								TRAVEL & TRAINING
	001339 CREDIT CARD CENTER	3-14-2022	0	2022	6	INV A	96.00	C-032222	TRAINING/HOTEL/AIRL
							96.00		ACCOUNT TOTAL
							96.00		ORG 111 TOTAL
120									ARTS AND CULTURAL AFFAIRS
120	622100								PROFESSIONAL FEES
	004489 JOHNSON CINDY	2-28-2022	0	2022	6	INV A	360.00	C-032222	AEROBICS INSTR. (FE
	004545 FIRST CHOICE CATERIN	4825	0	2022	6	INV A	3,040.00	C-032222	MARDI GRAS LUNCHEON
	010525 GORDON LUCIA	185-22	0	2022	6	INV A	340.00	C-032222	YOGA INSTR. (JAN. 3
	010525 GORDON LUCIA	186-22	0	2022	6	INV A	320.00	C-032222	YOGA CLASS-JAN. 21,
	010525 GORDON LUCIA	187-22	0	2022	6	INV A	350.00	C-032222	YOGA INST. (FEB. 7,
							1,010.00		
	013302 MCMULLIN GLORIA	2-22	0	2022	6	INV A	240.00	C-032222	LINE DANCE CLASS (F
	013302 MCMULLIN GLORIA	3-22	0	2022	6	INV A	120.00	C-032222	LINE DANCE CLASS -
							360.00		
	013370 CAIN, MARY	2-2022	0	2022	6	INV A	120.00	C-032222	LINE DANCE INST. (F
	015915 WISEMAN CYNTHIA	308-22	0	2022	6	INV A	405.00	C-032222	AEROBIC'S/FEB. 17,
	017200 SMITH JOYCE W	225-22	0	2022	6	INV A	150.00	C-032222	YOGA INSTRUCTOR (FE
	017200 SMITH JOYCE W	3-11-22	0	2022	6	INV A	90.00	C-032222	YOGA INSTR. (MARCH
	017200 SMITH JOYCE W	404-22	0	2022	6	INV A	90.00	C-032222	YOGA INSTRUCTOR (MA
							330.00		
	017272 PERKINS WENDY	303-22	0	2022	6	INV A	205.00	C-032222	AEROBIC'S INSTR. (F
	017306 BSN SPORTS	916046289	0	2022	6	INV A	258.23	C-032222	EXERCISE BANDS - SE
	018134 FORRESTER SHERRY	573-22	0	2022	6	INV A	630.00	C-032222	ART INST. (FEB. 2,
	021019 CAIN LINDA A	529-22	0	2022	6	INV A	60.00	C-032222	LINE DANCE INST. (F

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CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET C-032222

P 2
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YEAR/PERIOD: 2022/1 TO 2022/6		ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION
021019	CAIN LINDA A	530-22	0	2022	6	INV	A	60.00	C-032222	LINE DANCE INSTR. (
021019	CAIN LINDA A	531-22	0	2022	6	INV	A	60.00	C-032222	LINE DANCE CLASS (M
								180.00		
028876	BURCH DEBORA	2-22	0	2022	6	INV	A	150.00	C-032222	YOGA CLASS (FEB. 1,
029120	YOUNG LEASING CO	INV4658740	0	2022	6	INV	A	190.18	C-032222	#AAA50825 - COPY CO
029120	YOUNG LEASING CO	INV4669286	0	2022	6	INV	A	248.14	C-032222	#AAA50825-COPY CONT
								438.32		
030813	BROWN MARILYN	3-8-2022	0	2022	6	INV	A	60.00	C-032222	REIMB. FOR LUGGAGE
034408	DUNCAN LORETTA	3-8-2022	0	2022	6	INV	A	171.60	C-032222	REIMB. FOR MILEAGE,
ACCOUNT TOTAL								7,718.15		
120	626900			TRAVEL & TRAINING						
001339	CREDIT CARD CENTER	3-14-2022	0	2022	6	INV	A	612.40	C-032222	TRAINING/HOTEL/AIRL
ACCOUNT TOTAL								612.40		
ORG 120 TOTAL								8,330.55		
COURT DEPARTMENT										
125	621500			COURT BOND REFUND						
035208	BROWN DIONTE	2-23-2022	0	2022	6	INV	A	150.00	C-032222	CASH BOND REFUND
035209	CLEVELAND DESTINY	2-23-2022	0	2022	6	INV	A	150.00	C-032222	CASH BOND REFUND
035210	HUMPHREYS HAILEY	2-23-2022	0	2022	6	INV	A	500.00	C-032222	CASH BOND REFUND
035211	ARSENAULT DONALD D	2-23-2022	0	2022	6	INV	A	150.00	C-032222	CASH BOND REFUND
035263	BERRY JEREMY	2-23-2022	0	2022	6	INV	A	600.00	C-032222	CASH BOND REFUND
035264	LEACH WESLEY A.	2-23-2022	0	2022	6	INV	A	250.00	C-032222	CASH BOND REFUND
035267	HAILEY ANDREA	3-1-2022	0	2022	6	INV	A	100.00	C-032222	CASH BOND REFUND
035269	JAMES KADARIOUS	3-2-2022	0	2022	6	INV	A	300.00	C-032222	CASH BOND REFUND
035270	CRAWFORD SPENCER	3-2-2022	0	2022	6	INV	A	43.00	C-032222	CASH BOND REFUND
035296	ROBERTS DEVONTA L	3-8-2022	0	2022	6	INV	A	125.00	C-032222	CASH BOND REFUND
035301	ALI MOHANAD K	3-9-2022	0	2022	6	INV	A	100.00	C-032222	CASH BOND REFUND
ACCOUNT TOTAL								2,468.00		
COURT FINES										



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CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET C-032222

P 3
apinv gla

YEAR/PERIOD: 2022/1 TO 2022/6	ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION
	000955 STATE TREASURER	3-1-2022	0	2022 6	INV	A	104,681.35 C-032222		MARCH 2022 STATE AS
	000962 CRIME STOPPERS	3-1-2022	0	2022 6	INV	A	1,398.95 C-032222		MONTHLY CRIME STOPP
	000963 DEPT OF PUBLIC SAFET	3-1-2022	0	2022 6	INV	A	5,239.60 C-032222		MARCH 2022 I.W.R.C.
	000963 DEPT OF PUBLIC SAFET	3-1-22	0	2022 6	INV	A	2,950.00 C-032222		MAR. 2022 IGNITION
							8,189.60		
	024253 AMERICAN MUNICIPAL S	52725	0	2022 6	INV	A	308.97 C-032222		JAN. 2022 COLLECTIO
	029524 MISSISSIPPI FORENSIC	3-1-2022	0	2022 6	INV	A	50.00 C-032222		MARCH 2022 CRIME LA
							ACCOUNT TOTAL		114,628.87
125	621505						COURT SUPPLIES		
	000585 BETTER MARKETING KON	199421	0	2022 6	INV	A	175.00 C-032222		TRAFFIC TICKET LABE
	003174 TIGER STAMP INC	3977	0	2022 6	INV	A	40.00 C-032222		DESK NAME PLATE/KAR
	007823 AMERICAN PAPER & TWI	4239037	0	2022 6	INV	A	107.69 C-032222		JANITORAL SUPPLIES
	007823 AMERICAN PAPER & TWI	4249915	0	2022 6	INV	A	491.00 C-032222		COPIER PAPER
							598.69		
	026785 BEST BUY	5909122	0	2022 6	INV	A	319.98 C-032222		MONITORS FOR COURT
	029120 YOUNG LEASING CO	INV4660354	0	2022 6	INV	A	40.02 C-032222		#AAA14356 & #AAA143
	029120 YOUNG LEASING CO	INV4660989	0	2022 6	INV	A	169.45 C-032222		#AAA71917, 47729 &
							209.47		
							ACCOUNT TOTAL		1,343.14
125	622100						PROFESSIONAL SERVICES		
	023431 SMITH CHARLES NICK	3-14-2022	0	2022 6	INV	A	200.00 C-032222		SPECIAL JUDGE - MAR
	025804 BARTON MATTHEW	2-23-2022	0	2022 6	INV	A	200.00 C-032222		SPECIAL PROSECUTOR
	033399 MOORE ADRIENNE S	2-23-2022	0	2022 6	INV	A	200.00 C-032222		SPECIAL PROSECUTOR
	033399 MOORE ADRIENNE S	3-2-2022	0	2022 6	INV	A	200.00 C-032222		SPECIAL PROSECUTOR
							400.00		
							ACCOUNT TOTAL		800.00
							ORG 125 TOTAL		119,240.01
145							DEPARTMENT OF FINANCE & ADMIN		
145	610400						OFFICE SUPPLIES		
	004975 BAREFIELD WORKPLACE	1151080	0	2022 6	INV	A	11.28 C-032222		SUPPLIES

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CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET C-032222

P 4
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YEAR/PERIOD: 2022/1 TO 2022/6	ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION
	006685 DEX IMAGING	AR7396461	0	2022	6	INV A	139.27 C-032222		MP8510 - 4TH FLOOR
	007600 OFFICE DEPOT	226672453001	0	2022	6	INV A	22.84 C-032222		FOLDERS & OFFICE SU
	007600 OFFICE DEPOT	226672952001	0	2022	6	INV A	22.84 C-032222		HANGING FOLDERS
							45.68		
	030629 AMAZON CAPITAL	1M4YD6TR6RHG	0	2022	6	INV A	84.49 C-032222		#ANKP067K88KPB-INK
						ACCOUNT TOTAL	280.72		
145	622100					PROFESSIONAL SERVICES			
	022719 UMB CARD SERVICES	4-26-2022	0	2022	6	INV A	420.00 C-032222		UMB CREDIT CARD PYM
						ACCOUNT TOTAL	420.00		
						ORG 145 TOTAL	700.72		
150						INFORMATION TECHNOLOGY			
150	610400					OFFICE SUPPLIES			
	007600 OFFICE DEPOT	225500040001	0	2022	6	INV A	54.42 C-032222		IT OFFICE SUPPLIES
						ACCOUNT TOTAL	54.42		
150	610500					COMPUTERS			
	000342 DELL MARKETING LP	10566837238	0	2022	6	INV A	321.35 C-032222		DOCK STATION FOR WH
	000739 CDW LLC	T031005	0	2022	6	INV A	4,502.36 C-032222		(2) SURFACE PRO COM
	000952 TYLER TECHNOLOGIES	45-369144	0	2022	6	INV A	11,942.71 C-032222		QUARTERLY PAYMENTS
	001102 SOUTHAVEN SUPPLY	129653	0	2022	6	INV A	3.30 C-032222		HARDWARE SOLAR LPR
	013650 BATTERIES PLUS	P49324198	0	2022	6	INV A	109.24 C-032222		FOR UPS FIRE ADMIN
	013650 BATTERIES PLUS	P49647010	0	2022	6	INV A	22.67 C-032222		BATTERY
							131.91		
	019443 SOLARWINDS	IN553666	0	2022	6	INV A	490.00 C-032222		REMOTE SOFTWARE REN
	019694 MID-SOUTH TELECOM	72216	0	2022	6	INV A	65.00 C-032222		PATCH CABLE REPAIR
	026785 BEST BUY	5903554	0	2022	6	INV A	89.97 C-032222		HARD DRIVES FOR GET
	030629 AMAZON CAPITAL	176V9YM9DKNM	0	2022	6	INV A	127.99 C-032222		#ANKP067K88KPB-VOLT
	030629 AMAZON CAPITAL	1FFX9HCYXHDX	0	2022	6	INV A	25.99 C-032222		#ANKP067K88KPB-FING
							153.98		
	035107 LENOVO INC	6460214207	22000135	2022	6	INV A	1,760.00 C-032222		1-DOCKING STATIONS
						ACCOUNT TOTAL	19,460.58		



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CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET C-032222

P 5
apinv gla

YEAR/PERIOD: 2022/1 TO 2022/6												
ACCOUNT/VENDOR		INVOICE	PO	YEAR/PR TYP S					WARRANT	CHECK	DESCRIPTION	
150	610550	NETWORK CONNECTIVITY										
000739	CDW LLC	T518505	22000158	2022	6	INV	A	30,975.00	C-032222		ANTI VIRUS 3 YEAR R	
000952	TYLER TECHNOLOGIES	25-279985	0	2022	6	INV	A	62.50	C-032222		TRAINING - IT	
000952	TYLER TECHNOLOGIES	25-281119	0	2022	6	INV	A	750.00	C-032222		TRAINING - IT	
000952	TYLER TECHNOLOGIES	25-282467	0	2022	6	INV	A	625.00	C-032222		TRAINING - IT	
000952	TYLER TECHNOLOGIES	25-286543	0	2022	6	INV	A	62.50	C-032222		TRAINING - IT	
000952	TYLER TECHNOLOGIES	25-288651	0	2022	6	INV	A	62.50	C-032222		TRAINING - IT	
000952	TYLER TECHNOLOGIES	25-289026	0	2022	6	INV	A	1,000.00	C-032222		TRAINING - IT	
000952	TYLER TECHNOLOGIES	25-366843	0	2022	6	CRM	A	-62.50	C-032222		CREDIT FOR TRAINING	
000952	TYLER TECHNOLOGIES	25-366844	0	2022	6	CRM	A	-750.00	C-032222		CREDIT FOR TRAINING	
000952	TYLER TECHNOLOGIES	25-366845	0	2022	6	CRM	A	-625.00	C-032222		CREDIT FOR TRAINING	
000952	TYLER TECHNOLOGIES	25-366846	0	2022	6	CRM	A	-62.50	C-032222		CREDIT FOR TRAINING	
000952	TYLER TECHNOLOGIES	25-366848	0	2022	6	CRM	A	-62.50	C-032222		CREDIT FOR TRAINING	
000952	TYLER TECHNOLOGIES	25-366849	0	2022	6	CRM	A	-1,000.00	C-032222		CREDIT FOR TRAINING	
								.00				
007817	PROTECH SYSTEMS	SVC51407	0	2022	6	INV	A	2,257.00	C-032222		JAN. 2022-DISASTER	
007817	PROTECH SYSTEMS	SVC51878	0	2022	6	INV	A	2,257.00	C-032222		FEB. 2022-DISASTER	
007817	PROTECH SYSTEMS	SVC52232	0	2022	6	INV	A	2,257.00	C-032222		MAR. 2022-DISASTER	
								6,771.00				
022719	UMB CARD SERVICES	3-01-22	0	2022	6	INV	A	167.91	C-032222		#0058-DOMAIN REG &	
ACCOUNT TOTAL								37,913.91				
150	614000	GASOLINE/OIL										
006919	FUELMAN	NP61667907	0	2022	6	INV	A	135.41	C-032222		#BG2241616 - IT FUE	
006919	FUELMAN	NP61740623	0	2022	6	INV	A	49.99	C-032222		#BG2241616 - IT FUE	
006919	FUELMAN	NP61786539	0	2022	6	INV	A	173.01	C-032222		#BG2241616 - IT FUE	
								358.41				
ACCOUNT TOTAL								358.41				
ORG 150 TOTAL								57,787.32				
155	CITY CLERK											
155	610400	OFFICE SUPPLIES										
007600	OFFICE DEPOT	227045499001	0	2022	6	INV	A	53.80	C-032222		ENVELOPES W/CLASP	
030629	AMAZON CAPITAL	1M4YD6TR6RHG	0	2022	6	INV	A	398.73	C-032222		#ANKP067K88KPB-INK	
030629	AMAZON CAPITAL	1Q3WMR6F6LVD	0	2022	6	INV	A	113.66	C-032222		#ANKP067K88KPB-SPAC	
030629	AMAZON CAPITAL	1VMYX1PFGPGC	0	2022	6	INV	A	12.99	C-032222		#ANKP067K88KPB-BADG	
								525.38				
ACCOUNT TOTAL								579.18				



03/16/2022 14:19
1540spri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET C-032222

P 6
apinvgl

YEAR/PERIOD: 2022/1 TO 2022/6				ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR TYP S	WARRANT	CHECK	DESCRIPTION
155	610401	OFFICE SUPPLY-INVENTORY								
004975	BAREFIELD WORKPLACE	1145907	0	2022	6	INV A	15.62	C-032222		PENS
004975	BAREFIELD WORKPLACE	1151080	0	2022	6	INV A	7.32	C-032222		SUPPLIES
							22.94			
007600	OFFICE DEPOT	226672453001	0	2022	6	INV A	6.27	C-032222		FOLDERS & OFFICE SU
007600	OFFICE DEPOT	231647261001	0	2022	6	INV A	20.32	C-032222		CLEANER, DAWN, BATT
007600	OFFICE DEPOT	231649645001	0	2022	6	INV A	13.84	C-032222		TRASH BAGS
007600	OFFICE DEPOT	231649646001	0	2022	6	INV A	21.37	C-032222		SOAP, ENVELOPES & H
							61.80			
007823	AMERICAN PAPER & TWI	4239032	0	2022	6	INV A	526.16	C-032222		COPIER PAPER
007823	AMERICAN PAPER & TWI	4260667	0	2022	6	INV A	23.04	C-032222		KITCHEN TOWELS
							549.20			
030629	AMAZON CAPITAL	1RNYD44FLL7	0	2022	6	INV A	139.11	C-032222		#ANKP067K88KPB-BOAR
030629	AMAZON CAPITAL	1TRQYHK61HDH	0	2022	6	CRM A	-78.85	C-032222		CREDIT MEMO #ANKP06
							60.26			
ACCOUNT TOTAL							694.20			
155	622100	PROFESSIONAL SERVICES								
029120	YOUNG LEASING CO	INV4660990	0	2022	6	INV A	244.71	C-032222		#AAA52195 - MONTHLY
029120	YOUNG LEASING CO	INV4660991	0	2022	6	INV A	113.41	C-032222		#AAA63652 - BUSINES
							358.12			
ACCOUNT TOTAL							358.12			
155	625700	TELEPHONE & POSTAGE								
000971	PITNEY BOWES GLOBAL	1020126142	0	2022	6	INV A	69.99	C-032222		TRAVEL & LABOUR FOR
ACCOUNT TOTAL							69.99			
155	626100	ADVERTISING								
001185	DESOTO TIMES-TRIBUNE	300150035	0	2022	6	INV A	131.20	C-032222		NOTICE 10 MILLION B
001185	DESOTO TIMES-TRIBUNE	300150092	0	2022	6	INV A	7.50	C-032222		PLANNING ZONING
001185	DESOTO TIMES-TRIBUNE	300150152	0	2022	6	INV A	15.60	C-032222		PLANNING UPPER HOME
001185	DESOTO TIMES-TRIBUNE	300150154	0	2022	6	INV A	13.70	C-032222		MARSHALL SANDERS CU
							168.00			
ACCOUNT TOTAL							168.00			
ORG 155 TOTAL							1,869.49			



03/16/2022 14:19
1540spri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET C-032222

P 7
apinvgl

YEAR/PERIOD: 2022/1 TO 2022/6											
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION			
160								BUILDING DEPARTMENT			
160	611000							MATERIALS			
022719	UMB CARD SERVICES	4-26-2022	0	2022	6	INV A	568.49	C-032222	UMB CREDIT CARD PYM		
028212	UNITED REFRIGERATION	83157705	0	2022	6	INV A	92.55	C-032222	HVAC		
028212	UNITED REFRIGERATION	83166308	0	2022	6	INV A	12.23	C-032222	HVAC		
							104.78				
030629	AMAZON CAPITAL	16HYJFT4D9L9	0	2022	6	INV A	287.90	C-032222	#ANK067K88KPB-6' X		
030629	AMAZON CAPITAL	1G69KHG4G71Y	0	2022	6	INV A	29.99	C-032222	#ANKP067K88KPB-CIRC		
030629	AMAZON CAPITAL	1JYWY76YJWP9	0	2022	6	INV A	23.72	C-032222	#ANK067K88KPB-DRY E		
							341.61				
ACCOUNT TOTAL							1,014.88				
ORG 160 TOTAL							1,014.88				
180								PLANNING / ENGINEERING DEPT			
180	610400							OFFICE SUPPLIES			
006685	DEX IMAGING	AR7402319	0	2022	6	INV A	44.99	C-032222	#MP6615 - BUILDING		
006685	DEX IMAGING	AR7422584	0	2022	6	INV A	89.31	C-032222	#MP212272 - CANON I		
							134.30				
022719	UMB CARD SERVICES	4-26-2022	0	2022	6	INV A	122.27	C-032222	UMB CREDIT CARD PYM		
ACCOUNT TOTAL							256.57				
180	612500							UNIFORMS			
000424	A 2 Z ADVERTISING	60174	0	2022	6	INV A	2,492.50	C-032222	UNIFORMS		
ACCOUNT TOTAL							2,492.50				
180	622100							PROFESSIONAL FEES			
001160	NEEL-SCHAFFER INC	1077913	0	2022	6	INV A	627.02	C-032222	PROJECT-DC STRM WTR		
006885	STEGALL NOTARY SERVI	3-14-2022	0	2022	6	INV A	150.00	C-032222	WHITNEY CHOAT-COOK		
018221	CIVIL-LINK, LLC	75782	0	2022	6	INV A	15,000.00	C-032222	MUNICIPAL STAFFING		
025688	ROSE JUNE	3-7-2022	0	2022	6	INV A	100.00	C-032222	PLANNING COMMISSION		
025689	ENGLISH CINDY	3-7-2022	0	2022	6	INV A	100.00	C-032222	PLANNING COMMISSION		
025693	BREWER WILLIAM JOSEP	3-7-2022	0	2022	6	INV A	100.00	C-032222	PLANNING COMMISSION		
025694	CAMP JOHN	3-7-2022	0	2022	6	INV A	100.00	C-032222	PLANNING COMMISSION		
027031	LEEKE KEVIN	3-7-2022	0	2022	6	INV A	100.00	C-032222	PLANNING COMMISSION		

P 8
apinvgl

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03/16/2022 14:19
1540spri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET C-032222

P 10
apinv gla

YEAR/PERIOD: 2022/1 TO 2022/6													
ACCOUNT/VENDOR		INVOICE	PO	YEAR/PR TYP S		WARRANT	CHECK	DESCRIPTION					
034982 ROSS MOTOR COMPANY I		107234	0	2022	6	INV A	156.56	C-032222	SENSOR				
ACCOUNT TOTAL						29,395.37							
211	612200	MAINTENANCE EQUIPMENT & BUILD											
001102 SOUTHAVEN SUPPLY		129790	0	2022	6	INV A	69.83	C-032222	SUPPLIES FOR RANGE				
021382 PETTY CASH		JAN2022-SPD	0	2022	6	INV A	20.30	C-032222	PETTY CASH - SUPPLI				
021916 MIDSOUTH SOLUTIONS		169075	0	2022	6	INV A	282.00	C-032222	SIGNS				
030629 AMAZON CAPITAL		1HNG4XM3J3GW	0	2022	6	INV A	69.98	C-032222	#ANKP067K88KPB - TE				
ACCOUNT TOTAL						442.11							
211	612500	UNIFORMS											
020832 EMERGENCY EQUIPMENT		467766	0	2022	6	INV A	979.00	C-032222	D. ELMORE NEW HIRE				
020832 EMERGENCY EQUIPMENT		467767	0	2022	6	INV A	1,115.00	C-032222	CONNER LEWIS NEW HI				
020832 EMERGENCY EQUIPMENT		467768	0	2022	6	INV A	1,109.00	C-032222	DAVIAANTAI ELLINGTON				
020832 EMERGENCY EQUIPMENT		468129	0	2022	6	INV A	945.00	C-032222	ARTHUR TONKINSON -				
020832 EMERGENCY EQUIPMENT		468130	0	2022	6	INV A	15.00	C-032222	MCOY - NEW HIRE				
						4,163.00							
021382 PETTY CASH		JAN2022-SPD	0	2022	6	INV A	110.20	C-032222	PETTY CASH - SUPPLI				
021916 MIDSOUTH SOLUTIONS		178302	0	2022	6	INV A	806.49	C-032222	DREKEVIOUS ELMORE -				
021916 MIDSOUTH SOLUTIONS		178720	0	2022	6	INV A	130.00	C-032222	JAMES RETIREMENT BA				
021916 MIDSOUTH SOLUTIONS		178741	22000054	2022	6	INV A	266.99	C-032222	GEE, WHITNEY UNIFOR				
						1,203.48							
ACCOUNT TOTAL						5,476.68							
211	614000	FUEL & OIL											
006919 FUELMAN		NP61639094	0	2022	6	INV A	8,589.52	C-032222	#BG127062 -SPD FUEL				
006919 FUELMAN		NP61667570	0	2022	6	INV A	8,420.61	C-032222	#BG127062 - SPD FUE				
006919 FUELMAN		NP61740286	0	2022	6	INV A	9,846.41	C-032222	#BG127062 - FUEL FO				
						26,856.54							
021382 PETTY CASH		FEB2022-SPD	0	2022	6	INV A	10.00	C-032222	PETTY CASH FOR SMOR				
022719 UMB CARD SERVICES		4-26-2022	0	2022	6	INV A	-45.99	C-032222	UMB CREDIT CARD PYM				
ACCOUNT TOTAL						26,820.55							
211	614900	FEED FOR ANIMALS											
022719 UMB CARD SERVICES		4-26-2022	0	2022	6	INV A	377.45	C-032222	UMB CREDIT CARD PYM				
ACCOUNT TOTAL						377.45							



03/16/2022 14:19
1540spri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET C-032222

P 11
apinv gla

YEAR/PERIOD: 2022/1 TO 2022/6	ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION
211	615500			JAIL FEES					
000964	DESOTO COUNTY SHERIF	3-9-2022	0	2022	6	INV A	25,165.00	C-032222	INMATE HOUSING FOR
000964	DESOTO COUNTY SHERIF	3-9-22	0	2022	6	INV A	716.06	C-032222	INMATE MEDICAL & PH
							25,881.06		
				ACCOUNT TOTAL			25,881.06		
211	622100			PROFESSIONAL SERVICES					
000597	SIRCHIE ACQUISITION	533614	0	2022	6	INV A	115.00	C-032222	EVIDENCE SUPPLIES
006685	DEX IMAGING	AR7421839	0	2022	6	INV A	126.56	C-032222	#MP6419 & MP6427 -
019545	TRANSUNION RISK & AL	50291-202202-1	0	2022	6	INV A	450.00	C-032222	FEB. 2022 OLINE INV
020454	DIRECTFX	M40047	0	2022	6	INV A	925.89	C-032222	TOW BOOKS
020454	DIRECTFX	M41121	0	2022	6	INV A	95.00	C-032222	GENERIC BUSINESS CA
							1,020.89		
021382	PETTY CASH	FEB2022-SPD	0	2022	6	INV A	31.50	C-032222	PETTY CASH FOR SMOR
021382	PETTY CASH	JAN2022-SPD	0	2022	6	INV A	12.00	C-032222	PETTY CASH - SUPPLI
							43.50		
029120	YOUNG LEASING CO	4668265	0	2022	6	INV A	365.73	C-032222	#AAA65005 - SID @ W
029120	YOUNG LEASING CO	4668266	0	2022	6	INV A	240.75	C-032222	#AAA61322 - ADMIN H
029120	YOUNG LEASING CO	4668267	0	2022	6	INV A	267.41	C-032222	#AAA61328 - CAPT. H
029120	YOUNG LEASING CO	4681844	0	2022	6	INV A	190.18	C-032222	#AAA43456 - WEST @
029120	YOUNG LEASING CO	INV4649546	0	2022	6	INV A	670.54	C-032222	#AAA81006 & AAA8100
							1,734.61		
029355	GRAYSHIFT LLC	INV-4791	22000147	2022	6	INV A	14,990.00	C-032222	GRAYSHIFT SOLE SOUR
031064	INDUSTRIAL/ORGANIZAT	C52620A	0	2022	6	INV A	1,282.00	C-032222	SUPERVISOR TESTS
034860	FORENSIC POLYGRAPH S	112	0	2022	6	INV A	600.00	C-032222	3 POLYS
034860	FORENSIC POLYGRAPH S	113	0	2022	6	INV A	200.00	C-032222	POLY: BETTS
							800.00		
				ACCOUNT TOTAL			20,562.56		
211	625700			TELEPHONE & POSTAGE					
000971	PITNEY BOWES GLOBAL	41022	0	2022	6	INV A	869.41	C-032222	POSTAGE MACHINE
001137	FEDEX	7-670-93973	0	2022	6	INV A	16.35	C-032222	STANDARDS & TRAININ
001137	FEDEX	7-685-41148	0	2022	6	INV A	16.76	C-032222	AXON
							33.11		



03/16/2022 14:19
1540spri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET C-032222

P 12
apinv gla

YEAR/PERIOD: 2022/1 TO 2022/6	ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION
				ACCOUNT TOTAL			902.52		
211	626102			PUBLIC RELATIONS					
	021382	PETTY CASH	JAN2022-SPD	0	2022	6 INV A	38.48	C-032222	PETTY CASH - SUPPLI
	021382	PETTY CASH	MAR2022-SPD	0	2022	6 INV A	45.94	C-032222	PROMOTIONAL TESTING
							84.42		
	022719	UMB CARD SERVICES	3-01-22	0	2022	6 INV A	85.00	C-032222	#0058-DOMAIN REG &
				ACCOUNT TOTAL			169.42		
211	626500			PRINTING					
	020454	DIRECTFX	M41308	0	2022	6 INV A	65.00	C-032222	GENERIC BUSINESS CA
				ACCOUNT TOTAL			65.00		
211	626900			TRAVEL & TRAINING					
	001339	CREDIT CARD CENTER	3-14-2022	0	2022	6 INV A	1,027.93	C-032222	TRAINING/HOTEL/AIRL
	001370	VICKERS, BRENT A	2-23-2022	0	2022	6 INV A	92.00	C-032222	PER DIEM-FBI NATION
	005769	MOORE MACON	2-23-22	0	2022	6 INV A	92.00	C-032222	PER DIEM-FBI NATION
	029048	ROBERTSON CHRISTOPHE	2-23-2022	0	2022	6 INV A	92.00	C-032222	PER DIEM-FBI NATION
				ACCOUNT TOTAL			1,303.93		
211	630400			MACHINERY & EQUIPMENT					
	006398	DR. OSDICK'S INNOVAT	4867	0	2022	6 INV A	331.70	C-032222	ROBOT LAPTOP REPAIR
	012445	ACCURATE LAW ENFOR	20-1820	0	2022	6 INV A	4,950.00	C-032222	22 HOLOSUN RED DOT
	022719	UMB CARD SERVICES	4-26-2022	0	2022	6 INV A	219.99	C-032222	UMB CREDIT CARD PYM
	030629	AMAZON CAPITAL	14KRY6DLQCWH	0	2022	6 INV A	242.72	C-032222	RECHARGEABLE 12V &
				ACCOUNT TOTAL			5,744.41		
211	630600			VEHICLES					
	000543	COMSERV SERVICES	732004317	22000077	2022	6 INV A	4,972.00	C-032222	3226 SUPERVISOR PAC
	005662	HOWARD INDUSTRIES	22-00539909	22000062	2022	6 INV A	2,778.00	C-032222	5 TABLETS FOR SPD P
				ACCOUNT TOTAL			7,750.00		
211	661800			CONFISCATED FUNDS-LOCAL					
	023353	SOUTHERN CONNECTION	20772	22000160	2022	6 INV A	23,925.00	C-032222	150 MOD GLOCK 45 9M
				ACCOUNT TOTAL			23,925.00		
	ORG 211			TOTAL			149,635.60		



03/16/2022 14:19
1540spri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET C-032222

P 13
apinvgl

YEAR/PERIOD: 2022/1 TO 2022/6		ACCOUNT/VENDOR		INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION
215											
215	610400										EMERGENCY SERVICES
											OFFICE SUPPLIES
007600	OFFICE DEPOT	220573485001	0	2022	6	INV	A		43.17	C-032222	BROTHER LABLER
007600	OFFICE DEPOT	220588073001	0	2022	6	INV	A		25.70	C-032222	HIGHLIGHTERS PRINTE
007600	OFFICE DEPOT	220588143001	0	2022	6	INV	A		26.49	C-032222	CORRECTION TAPE
007600	OFFICE DEPOT	223269105001	0	2022	6	INV	A		54.20	C-032222	FILE FRAMES
									149.56		
007823	AMERICAN PAPER & TWI	4254287	0	2022	6	INV	A		102.31	C-032222	JANITORAL SUPPLIES/
007823	AMERICAN PAPER & TWI	4258289	0	2022	6	INV	A		21.92	C-032222	FILE FOLDER LABELS
									124.23		
030629	AMAZON CAPITAL	11QFRTHRTPL	0	2022	6	INV	A		75.22	C-032222	#ANKP067K88KPB-KLEE
030629	AMAZON CAPITAL	14XYPMTJG6FK	0	2022	6	INV	A		110.58	C-032222	#ANKP067K88KPB-OFFI
									185.80		
									ACCOUNT TOTAL	459.59	
215	612500										UNIFORMS
000424	A 2 Z ADVERTISING	60277	0	2022	6	INV	A		110.00	C-032222	S. SIGLER UNIFORMS
000424	A 2 Z ADVERTISING	60278	0	2022	6	INV	A		283.88	C-032222	S. ZANE UNIFORMS
000424	A 2 Z ADVERTISING	60279	0	2022	6	INV	A		86.96	C-032222	M. SEAMANS UNIFORMS
000424	A 2 Z ADVERTISING	60280	0	2022	6	INV	A		346.10	C-032222	T-SHIRTS
000424	A 2 Z ADVERTISING	60876	0	2022	6	INV	A		407.80	C-032222	A VANCE UNIFORMS
000424	A 2 Z ADVERTISING	60877	0	2022	6	INV	A		72.00	C-032222	M. GREGORY UNIFORMS
000424	A 2 Z ADVERTISING	61004	0	2022	6	INV	A		123.96	C-032222	C. LEWIS UNIFORMS
									1,430.70		
									ACCOUNT TOTAL	1,430.70	
215	622100										PROFESSIONAL FEES
002564	LANGUAGE LINE SERVIC	10464761	0	2022	6	INV	A		81.25	C-032222	LANGUGE LINE
034860	FORENSIC POLYGRAPH S 114		0	2022	6	INV	A		200.00	C-032222	POLYGRAPH
034860	FORENSIC POLYGRAPH S 115		0	2022	6	INV	A		200.00	C-032222	JASON BUTLER POLYGR
									400.00		
									ACCOUNT TOTAL	481.25	
215	626900										TRAVEL & TRAINING
003626	LIBERTEL ASSOCIATES	229521	0	2022	6	INV	A		659.60	C-032222	HEADSETS
027440	NORTHWEST MS COMMUN	22522	0	2022	6	INV	A		50.00	C-032222	CPR RECERTS
									ACCOUNT TOTAL	709.60	



03/16/2022 14:19
1540spr1

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET C-032222

P 14
apinv gla

YEAR/PERIOD: 2022/1 TO 2022/6		ACCOUNT/VENDOR		INVOICE	PO	YEAR/PR TYP S			WARRANT	CHECK	DESCRIPTION	
					ORG 215	TOTAL			3,081.14			
290	FIRE DEPARTMENT											
290	610100	CLEANING SUPPLIES										
007823	AMERICAN PAPER & TWI	4233888	0	2022	6	INV	A	917.08	C-032222		JANITORAL SUPPLIES	
031069	CLEANER SOLUTIONS	T21-1108-M6	0	2022	6	INV	A	67.00	C-032222		DETERGENT FOR DISHW	
031069	CLEANER SOLUTIONS	T21-1203-M6	0	2022	6	INV	A	268.00	C-032222		DETERGENT FOR DISHW	
								335.00				
ACCOUNT TOTAL								1,252.08				
290	611000	MATERIALS										
001102	SOUTHAVEN SUPPLY	127670	0	2022	6	INV	A	35.40	C-032222		ROPE FOR FLAG POLE	
007304	O'REILLYS AUTO PARTS	1257-171527	0	2022	6	INV	A	14.78	C-032222		(1) 20 OZ CARBCLNR	
007304	O'REILLYS AUTO PARTS	1791-178110	0	2022	6	INV	A	44.98	C-032222		CAR CHARGER & IP5 D	
								59.76				
020832	EMERGENCY EQUIPMENT	467709	0	2022	6	INV	A	80.00	C-032222		KOCHEK HYDRANT WREN	
020832	EMERGENCY EQUIPMENT	467783	0	2022	6	INV	A	71.64	C-032222		2-LAMP QUARTZ BULB/	
								151.64				
022719	UMB CARD SERVICES	4-26-2022	0	2022	6	INV	A	19.40	C-032222		UMB CREDIT CARD PYM	
ACCOUNT TOTAL								266.20				
290	611300	MAINTENANCE VEHICLES										
000189	HOMER SKELTON FORD	6144551	0	2022	6	INV	A	120.69	C-032222		FLEET 6007 OIL CHAN	
000650	G & W DIESEL SERVICE	378670	0	2022	6	INV	A	1,765.33	C-032222		REPAIRS TO ENG. 3,	
007304	O'REILLYS AUTO PARTS	1257-168617	0	2022	6	INV	A	19.09	C-032222		SEAL BEAN FOR ENG 1	
007304	O'REILLYS AUTO PARTS	1791-177908	0	2022	6	INV	A	29.98	C-032222		2) 2.5 GAL. O'REILL	
007304	O'REILLYS AUTO PARTS	1791-178332	0	2022	6	INV	A	16.99	C-032222		1) 2.5 GAL. BLUE DE	
007304	O'REILLYS AUTO PARTS	1791-179045	0	2022	6	INV	A	69.95	C-032222		5) 2.5 GAL BLUE DEF	
								136.01				
020832	EMERGENCY EQUIPMENT	467471	0	2022	6	INV	A	41.71	C-032222		REPLACED TRUNION EN	
020832	EMERGENCY EQUIPMENT	467473	0	2022	6	INV	A	294.63	C-032222		REPLACED DEF FLUID	
020832	EMERGENCY EQUIPMENT	467809	0	2022	6	INV	A	1,190.25	C-032222		REPAIR TO TRUCK 3,	
020832	EMERGENCY EQUIPMENT	467865	0	2022	6	INV	A	159.78	C-032222		10) WELLNUTS & LABO	
								1,686.37				
030629	AMAZON CAPITAL	1LCRFM3NHG4W	0	2022	6	INV	A	129.00	C-032222		#ANKP067K88KPB-FRON	
ACCOUNT TOTAL								3,837.40				



03/16/2022 14:19
1540spri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET C-032222

P 15
apinvgl

YEAR/PERIOD: 2022/1 TO 2022/6											
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION			
290	612200		MAINTENANCE EQUIPMENT & BUILD								
007304 O'REILLYS AUTO PARTS	1257-169908	0	2022	6	INV A	4.49	C-032222	20 AMP BLADE FOR ST			
030629 AMAZON CAPITAL	1PNYW3YFWD3T	0	2022	6	INV A	16.99	C-032222	#ANKP067K88KPB-HOND			
ACCOUNT TOTAL						21.48					
290	614000		FUEL & OIL								
006919 FUELMAN	NP61497711	0	2022	6	INV A	18.35	C-032222	#BG127181 - SFD FUE			
006919 FUELMAN	NP61667588	0	2022	6	INV A	47.67	C-032222	#BG127181 - FUEL FO			
						66.02					
017201 BEST-WADE PETROLEUM	36264	0	2022	6	INV A	2,104.53	C-032222	FUEL FOR STATION #3			
017201 BEST-WADE PETROLEUM	36265	0	2022	6	INV A	1,221.24	C-032222	FUEL FOR STATION #2			
017201 BEST-WADE PETROLEUM	36266	0	2022	6	INV A	1,746.03	C-032222	FUEL FOR STATION #1			
						5,071.80					
ACCOUNT TOTAL						5,137.82					
290	622100		PROFESSIONAL SERVICES								
004781 FAMILY MEDICAL CLINI	13122	0	2022	6	INV A	874.00	C-032222	DOT PHYSICALS HEP B			
023066 TRILOGY MEDWASTE SO	895040	0	2022	6	INV A	493.10	C-032222	MED WASTE			
ACCOUNT TOTAL						1,367.10					
290	625700		TELEPHONE & POSTAGE								
001137 FEDEX	270850668480	0	2022	6	INV A	29.61	C-032222	SHIPPING FEES - TRA			
001137 FEDEX	7-685-06342	0	2022	6	INV A	27.27	C-032222	SHIPPING FEES BOX E-			
001137 FEDEX	7-692-42652	0	2022	6	INV A	16.57	C-032222	SHIPPING FEES			
						73.45					
ACCOUNT TOTAL						73.45					
290	626500		PRINTING								
029120 YOUNG LEASING CO	4678182	0	2022	6	INV A	244.70	C-032222	#AAA47533 - SERVICE			
029120 YOUNG LEASING CO	INV4362805	0	2022	6	INV A	497.15	C-032222	COPIER SERVICES FOR			
029120 YOUNG LEASING CO	INV4498265	0	2022	6	INV A	244.70	C-032222	#AAA47533 - COPIER			
						986.55					
ACCOUNT TOTAL						986.55					
290	626900		TRAVEL & TRAINING								
000958 MS STATE FIRE ACADEM	29355	0	2022	6	INV A	730.00	C-032222	FF INTERVENTION RES			
001102 SOUTHAVEN SUPPLY	127618	0	2022	6	INV A	10.98	C-032222	MATERIAL FOR TRAINI			
001102 SOUTHAVEN SUPPLY	128673	0	2022	6	INV A	18.99	C-032222	BALL 2"B X 3/4"S X			



03/16/2022 14:19
1540spri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET C-032222

P 16
apinv gla

YEAR/PERIOD: 2022/1 ACCOUNT/VENDOR	TO 2022/6 INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION
001102 SOUTHAVEN SUPPLY	129909	0	2022 6	INV	A	71.98 C-032222		MATERIALS FOR TRAIN
001102 SOUTHAVEN SUPPLY	130188	0	2022 6	INV	A	9.12 C-032222		MATERIALS FOR TRAIN
						111.07		
001147 NEXAIR LLC	9659829	0	2022 6	INV	A	120.51 C-032222		#L5001-FEB. 2022-RE
005801 FERRELLGAS	2019602536	0	2022 6	INV	A	598.95 C-032222		PROPANE FOR TANK #4
005801 FERRELLGAS	2019602553	0	2022 6	INV	A	702.10 C-032222		PROPANE FOR TANK #2
005801 FERRELLGAS	2019602573	0	2022 6	INV	A	1,288.41 C-032222		PROPANE FOR TANK #3
						2,589.46		
007888 WOODARD CRAIG	2-24-22	0	2022 6	INV	A	145.00 C-032222		PER DIEM-FIRE ACADE
007888 WOODARD CRAIG	3-14-2022	0	2022 6	INV	A	290.00 C-032222		MEALS FOR FIRE ACAD
						435.00		
017547 PARRISH LAMAR	3-4-2022	0	2022 6	INV	A	145.00 C-032222		TRUCK COMPANY OPERA
022907 COTTEN JESSIE	3-7-2022	0	2022 6	INV	A	145.00 C-032222		TRUCK COMPANY OPERA
025190 RIDINGER ADAM	3-4-2022	0	2022 6	INV	A	290.00 C-032222		PER DIEM/FOOD FOR H
027869 VOLNER GRANT	2-20-22	0	2022 6	INV	A	145.00 C-032222		PER DIEM FOR ENGINE
029031 HOUSE MICHAEL	3-9-2022	0	2022 6	INV	A	145.00 C-032222		FIREGROUND LEADERSH
029810 TRAINING AT THE CROS	3-15-2022	0	2022 6	INV	A	600.00 C-032222		TRAINING @ THE CROS
031258 SHEFFIELD JAMES K	3-4-2022	0	2022 6	INV	A	145.00 C-032222		TRUCK COMPANY OPERA
031258 SHEFFIELD JAMES K	3-4-22	0	2022 6	INV	A	145.00 C-032222		ENGINE COMPANY OPER
						290.00		
031554 MORROW MICHAEL K	2-18-22	0	2022 6	INV	A	145.00 C-032222		PER DIEM FOR ENGINE
						ACCOUNT TOTAL	5,891.04	
290 630400						MACHINERY & EQUIPMENT		
000397 KNOX ASSOCIATES INC	KA-58876	22000116	2022 6	INV	A	1,810.00 C-032222		KSM-200K1 KEYSECURE
000949 INTEGRATED COMMUNICA	151081	0	2022 6	INV	A	615.00 C-032222		REPAIR MOTOROLA - A
000949 INTEGRATED COMMUNICA	26890	0	2022 6	INV	A	306.00 C-032222		3) MIC CUP REPLACEM
						921.00		
035229 MBS SAFETY SOLUTIONS	MS22NS002	22000151	2022 6	INV	A	3,813.16 C-032222		ARGUS MI-TIC LITHIU
						ACCOUNT TOTAL	6,544.16	
		ORG 290		TOTAL			25,377.28	



03/16/2022 14:19
1540spri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET C-032222

P 17
apinvgl

YEAR/PERIOD: 2022/1 TO 2022/6											
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION			
FIRE PREVENTION											
295			MATERIALS								
295	611000										
000739	CDW LLC	S690500	0	2022	6	INV A	94.11	C-032222	GETAC 3.5MM HARD PO		
ACCOUNT TOTAL						94.11					
PUBLIC RELATIONS											
295	626102										
031457	BKBQ II LLC	W3998	0	2022	6	INV A	1,311.00	C-032222	FD BANQUET FOOD/SET		
ACCOUNT TOTAL						1,311.00					
TRAVEL & TRAINING											
295	626900										
012610	ROWLAND, TIM	3-15-2022	0	2022	6	INV A	226.00	C-032222	REIMB. FOR TIMOTHY		
014493	ALDERMAN MALENA	2-20-2022	0	2022	6	INV A	79.06	C-032222	MEMBERSHIP & INSTRU		
ACCOUNT TOTAL						305.06					
ORG 295 TOTAL						1,710.17					
EMS											
297			MEDICAL SUPPLIES								
297	610701										
000582	BOUND TREE MEDICAL	84407758	0	2022	6	INV A	219.51	C-032222	MEDICAL SUPPLIES		
000582	BOUND TREE MEDICAL	84420518	0	2022	6	INV A	1,102.79	C-032222	MEDICAL SUPPLIES		
000582	BOUND TREE MEDICAL	84424757	0	2022	6	INV A	148.14	C-032222	MEDICAL SUPPLIES		
						1,470.44					
000712	OLIVER DRUG STORE LL	77238	0	2022	6	INV A	535.44	C-032222	MEDICAL SUPPLIES		
001147	NEXAIR LLC	9614623	0	2022	6	INV A	142.12	C-032222	#L0490 - MEDICAL SE		
001147	NEXAIR LLC	9629173	0	2022	6	INV A	84.80	C-032222	#L0490 - MEDICAL SU		
001147	NEXAIR LLC	9656604	0	2022	6	INV A	274.80	C-032222	FEE RENTAL FEE FOR		
001147	NEXAIR LLC	9681613	0	2022	6	INV A	81.39	C-032222	#L0490-MEDICAL SUPP		
001147	NEXAIR LLC	9692089	0	2022	6	INV A	74.57	C-032222	#L0490-MEDICAL SUPP		
						657.68					
015430	ZOLL MEDICAL CORPORA	3157507	0	2022	6	INV A	391.31	C-032222	MEDICAL SUPPLIES		
015430	ZOLL MEDICAL CORPORA	3458661	0	2022	6	INV A	473.75	C-032222	MEDICAL SUPPLIES		
015430	ZOLL MEDICAL CORPORA	3459484	0	2022	6	INV A	1,482.80	C-032222	MEDICAL SUPPLIES		
						2,347.86					
016050	HENRY SCHEIN INC	17035742	0	2022	6	INV A	1,422.41	C-032222	MEDICAL SUPPLIES		
016050	HENRY SCHEIN INC	17467076	0	2022	6	INV A	2,059.33	C-032222	MEDICAL SUPPLIES		
016050	HENRY SCHEIN INC	17557006	0	2022	6	INV A	2,586.95	C-032222	MEDICAL SUPPLIES		
016050	HENRY SCHEIN INC	17763835	0	2022	6	INV A	177.20	C-032222	MEDICAL SUPPLIES		
016050	HENRY SCHEIN INC	18013566	0	2022	6	INV A	1,021.64	C-032222	MEDICAL SUPPLIES		
						7,267.53					



03/16/2022 14:19
1540spri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET C-032222

P 18
apinvgl

YEAR/PERIOD: 2022/1 TO 2022/6		PO	YEAR/PR TYP S		WARRANT	CHECK	DESCRIPTION
ACCOUNT/VENDOR	INVOICE						
021392 MERCURY MEDICAL	102743	0	2022 6	INV A	488.48 C-032222		MEDICAL SUPPLIES
027573 TELEFLEX MEDICAL INC	9505201101	0	2022 6	INV A	1,115.50 C-032222		MEDICAL SUPPLIES
033156 MEDLINE INDUSTRIES I	1702667042	0	2022 6	INV A	33.77 C-032222		INTEREST ON 3 INVOI
033156 MEDLINE INDUSTRIES I	1986848515	0	2022 6	INV A	419.60 C-032222		MEDICAL SUPPLIES
					453.37		
033952 MED ALLIANCE SOLUTIO	230339	0	2022 6	INV A	561.01 C-032222		(12) IT CLAMPS
				ACCOUNT TOTAL	14,897.31		
297 611300				MOTOR VEH REPAIRS/MAINT			
000883 AMERICAN TIRE REPAIR	156684	0	2022 6	INV A	696.00 C-032222		SERVICE CALL 2 NEW
				ACCOUNT TOTAL	696.00		
297 620901				BILLING SERVICES			
018772 MEDICAL ACCOUNTS REC	106187	0	2022 6	INV A	7,160.42 C-032222		MEDICAL BILLING FEB
019311 CREDIT BUREAU SYSTEM	307400000350	0	2022 6	INV A	1,208.89 C-032222		EMS COLLECTION FEES
				ACCOUNT TOTAL	8,369.31		
297 622100				PROFESSIONAL FEES			
012561 EMERGENCY MEDICAL RE	202217	0	2022 6	INV A	4,500.00 C-032222		1ST QUARTER MEDICAL
				ACCOUNT TOTAL	4,500.00		
297 626900				TRAVEL & TRAINING			
002765 HILL BRADLEY	372022	0	2022 6	INV A	60.00 C-032222		RENEWAL OF NREMT &
012610 ROWLAND, TIM	31422	0	2022 6	INV A	72.00 C-032222		RENEWAL OF NREMT &
013215 HODGES JEREMY	21522	0	2022 6	INV A	72.00 C-032222		RENEWAL OF NREMT &
013704 MESSENGER ERIC	382022	0	2022 6	INV A	65.00 C-032222		RENEWAL OF NREMT &
014135 PATTERSON CHRIS	392022	0	2022 6	INV A	160.00 C-032222		RENEWAL OF NREMT, S
015231 BYNUM DONALD	352022	0	2022 6	INV A	60.00 C-032222		RENEWAL OF NREMT &
027440 NORTHWEST MS COMMUN	21622	0	2022 6	INV A	20.00 C-032222		2) BLS CPR CARDS
027868 CAMPBELL JORDAN	21322	0	2022 6	INV A	60.00 C-032222		RENEWAL OF NREMT &
027869 VOLNER GRANT	22022	0	2022 6	INV A	65.00 C-032222		RENEWAL OF NREMT &
030067 BROOKS MATHEW	22622	0	2022 6	INV A	65.00 C-032222		RENEWAL OF NREMT &



03/16/2022 14:19
1540spri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET C-032222

P 19
apinvgl

YEAR/PERIOD: 2022/1 ACCOUNT/VENDOR	TO 2022/6 INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION
031554 MORROW MICHAEL K	21822	0	2022 6	INV	A	60.00 C-032222		RENEWAL OF NREMT &
032549 DAVIS JARRYL	3222	0	2022 6	INV	A	65.00 C-032222		RENEWAL OF NREMT &
ACCOUNT TOTAL						824.00		
ORG 297 TOTAL						29,286.62		
PUBLIC WORKS DEPARTMENT MATERIALS								
311 311 611000 000354 METER SERVICE AND SU	26235	0	2022 6	INV	A	35,033.00 C-032222		MAT. TO ORDER DIREC
000759 LEHMAN ROBERTS CO	81934	0	2022 6	INV	A	313.06 C-032222		MATERIAL: PLANT 6 -
000759 LEHMAN ROBERTS CO	81968	0	2022 6	INV	A	330.41 C-032222		MATERIAL: PLANT 6 -
000759 LEHMAN ROBERTS CO	82019	0	2022 6	INV	A	327.64 C-032222		MATERIAL: PLANT 5 -
000759 LEHMAN ROBERTS CO	82039	0	2022 6	INV	A	341.23 C-032222		MATERIAL: PLANT #5
						1,312.34		
000761 MEMPHIS STONE	139839	0	2022 6	INV	A	1,306.97 C-032222		MATERIALS - WASHED
001102 SOUTHAVEN SUPPLY	128177	0	2022 6	INV	A	550.44 C-032222		MATERIALS
001320 MARTIN MACHINE WORKS	1546	0	2022 6	INV	A	2,678.00 C-032222		MATERIALS
006807 MMC MATERIALS, INC	751897	0	2022 6	INV	A	319.00 C-032222		MATERIALS
017201 BEST-WADE PETROLEUM	1042620	0	2022 6	INV	A	653.81 C-032222		DRUM HOEO 15W40
021908 STRYKER	3678604	0	2022 6	INV	A	912.73 C-032222		MAT. - KNEE GATCH B
022719 UMB CARD SERVICES	4-26-2022	0	2022 6	INV	A	128.70 C-032222		UMB CREDIT CARD PYM
ACCOUNT TOTAL						42,894.99		
MAINTENANCE VEHICLES								
311 000223 CROW'S TRUCK SERVICE X101099016-01		0	2022 6	INV	A	682.31 C-032222		MAT. FOR SHOP
000440 SUNRISE BUILDERS SUP	2203-740297	0	2022 6	INV	A	43.24 C-032222		MAT. FOR SHOP - TRE
000525 RIVER CITY HYDRAULIC	32453	0	2022 6	INV	A	246.88 C-032222		MAT. FOR SHOP - VAL
000669 CAMPER CITY USA INC	663657	0	2022 6	INV	A	125.00 C-032222		MAT. FOR SHOP
000997 TRUCK PRO	1-0926101	0	2022 6	INV	A	121.74 C-032222		MAT. FOR SHOP
000997 TRUCK PRO	17-0841524	0	2022 6	INV	A	129.38 C-032222		MAT. FOR SHOP - LUB
						251.12		
001102 SOUTHAVEN SUPPLY	126124	0	2022 6	INV	A	47.99 C-032222		MAT. FOR SHOP
001114 UNION AUTO PARTS	2243860	0	2022 6	INV	A	196.82 C-032222		SUSPENSION STRUT SE



03/16/2022 14:19
1540spri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET C-032222

P 20
apinv gla

YEAR/PERIOD: 2022/1 ACCOUNT/VENDOR	TO 2022/6 INVOICE	PO	YEAR/PR TYP S	WARRANT	CHECK	DESCRIPTION
001114 UNION AUTO PARTS	2262142SHORT	0	2022 6 INV A	40.00 C-032222		SHORT PAY/COILASY-I
				236.82		
002408 HOL-MAC CORP	382589	0	2022 6 INV A	148.80 C-032222		MAT. FOR SHOP
006479 AIRGAS USA INC	9986869169	0	2022 6 INV A	55.38 C-032222		MAT. FOR SHOP
007304 O'REILLYS AUTO PARTS	1257-169201	0	2022 6 INV A	17.99 C-032222		MAT. FOR SHOP - WRE
007304 O'REILLYS AUTO PARTS	1257-170246	0	2022 6 INV A	34.39 C-032222		MAT. FOR SHOP - 3 I
007304 O'REILLYS AUTO PARTS	6399-109003	0	2022 6 INV A	25.68 C-032222		MAT. FOR SHOP/1 GAL
007304 O'REILLYS AUTO PARTS	6399-109136	0	2022 6 INV A	14.51 C-032222		MAT. FOR SHOP
007304 O'REILLYS AUTO PARTS	6399-109645	0	2022 6 INV A	7.18 C-032222		MAT. FOR SHOP - OIL
				99.75		
010865 RELIABLE EQUIPMENT	CT111064	0	2022 6 INV A	192.16 C-032222		MAT. FOR SHOP-TOOTH
010865 RELIABLE EQUIPMENT	CT111196	0	2022 6 INV A	61.03 C-032222		MAT. FOR SHOP SWITC
010865 RELIABLE EQUIPMENT	CT111298	0	2022 6 INV A	14.35 C-032222		MAT. FOR SHOP
				267.54		
016582 CONTRACTORS SUPPLY P	132592	0	2022 6 INV A	360.00 C-032222		MAT. FOR SHOP - BOW
020348 STRANGE ROBERT G	22222101481	0	2022 6 INV A	201.68 C-032222		MAT. FOR SHOP-MUL/L
024154 DISCOUNT TIRE	1285147	0	2022 6 INV A	798.00 C-032222		MAT. FOR SHOP - 202
026491 UNIVERSAL ENVIRONMEN	IN0442037	0	2022 6 INV A	35.00 C-032222		USED FILTERS - MAT.
030967 EMISSION & COOLING S	3033232	0	2022 6 INV A	165.39 C-032222		MAT. FOR SHOP
034150 LAWSON PRODUCTS, INC	9309313470	0	2022 6 INV A	510.09 C-032222		MAT. FOR SHOP
034150 LAWSON PRODUCTS, INC	9309355956	0	2022 6 INV A	18.40 C-032222		MAT. FOR SHOP - HEX
				528.49		
035101 CUMMINS SALES	D2-59284	0	2022 6 INV A	157.12 C-032222		MAT. FOR SHOP - TUB
035266 SOUTHERN HOSE	121206	0	2022 6 INV A	101.06 C-032222		MAT. FOR SHOP - 3/8
			ACCOUNT TOTAL	4,551.57		
311 612200			MAINTENANCE EQUIPMENT & BUILD			
035305 TRI STATE GUARDRAIL	14867	0	2022 6 INV A	8,385.94 C-032222		GUARDRAIL
035305 TRI STATE GUARDRAIL	14869	0	2022 6 INV A	3,500.00 C-032222		GUARDRAIL REPLACE @
				11,885.94		
			ACCOUNT TOTAL	11,885.94		
311 612500			UNIFORMS			



03/16/2022 14:19
1540spri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET C-032222

P 21
apinvgl

YEAR/PERIOD: 2022/1 TO 2022/6	ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION
	013377 CINTAS	4112265996	0	2022	6	INV A	315.01 C-032222		UNIFORMS
	013377 CINTAS	4112953919	0	2022	6	INV A	298.81 C-032222		UNIFORMS
							613.82		
							ACCOUNT TOTAL		613.82
311	622100						PROFESSIONAL SERVICES		
	000128 AMERICAN PETROLEUM	244356	0	2022	6	INV A	495.00 C-032222		GAS PUMP SERVICES
	014714 INTEGRATED WIRELES	23338	0	2022	6	INV A	556.40 C-032222		MARCH 2022 - RADIO
	029120 YOUNG LEASING CO	INV4660988	0	2022	6	INV A	206.63 C-032222		#AAA59364 - COPIER
							ACCOUNT TOTAL		1,258.03
							ORG 311 TOTAL		61,204.35
411							PARKS DEPARTMENT		
411	610400						OFFICE SUPPLIES		
	006685 DEX IMAGING	AR7421840	0	2022	6	INV A	87.56 C-032222		#MP8956 - COPY CONT
	006685 DEX IMAGING	AR7421850	0	2022	6	INV A	4.94 C-032222		#A2615 - COPY CONTR
							92.50		
	029120 YOUNG LEASING CO	INV4650773	0	2022	6	INV A	9.31 C-032222		#AAA75469 - COPY CO
	029120 YOUNG LEASING CO	INV4658739	0	2022	6	INV A	22.55 C-032222		#AAA46214 - COPY CO
	029120 YOUNG LEASING CO	INV4674600	0	2022	6	INV A	248.14 C-032222		#AAA50825 - TONER -
							280.00		
							ACCOUNT TOTAL		372.50
411	611000						MATERIALS		
	007823 AMERICAN PAPER & TWI	4254113	0	2022	6	INV A	18.92 C-032222		CLEANING SUPPLIES
							ACCOUNT TOTAL		18.92
411	611300						MAINTENANCE VEHICLES		
	001150 NAPA GENUINE PARTS C	352657	0	2022	6	INV A	76.88 C-032222		DISC PAD - BRAKES
	001150 NAPA GENUINE PARTS C	695-353936	0	2022	6	INV A	56.99 C-032222		BRAKE DISC
							133.87		
							ACCOUNT TOTAL		133.87
411	612200						MAINTENANCE EQUIPMENT & BUILD		
	000308 MAINTENANCE SUPPLY	231568	0	2022	6	INV A	3.43 C-032222		HOSE BARB
	000312 BOB LADD & ASSOCIATE	1-226026	0	2022	6	INV A	2,614.28 C-032222		EQUIPMENT PARTS
	000312 BOB LADD & ASSOCIATE	1-226872	0	2022	6	INV A	326.38 C-032222		EQUIPMENT PARTS/CC-
	000312 BOB LADD & ASSOCIATE	1-226989	0	2022	6	INV A	82.63 C-032222		EQUIPMENT PARTS - K



03/16/2022 14:19
1540spri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET C-032222

P 22
apinvgl

YEAR/PERIOD: 2022/1 TO 2022/6

ACCOUNT/VENDOR

INVOICE

PO

YEAR/PR TYP S

WARRANT

CHECK

DESCRIPTION

000312 BOB LADD & ASSOCIATE	1-227200	0	2022	6	INV A	9,756.00	C-032222	EQUIPMENT PARTS-CLU
000312 BOB LADD & ASSOCIATE	1-227541	0	2022	6	INV A	325.93	C-032222	EQUIPMENT PARTS/CC-
						13,105.22		
000687 SOUTHERN PIPE & SUPP	6384330	0	2022	6	INV A	117.20	C-032222	FLUSH VALVE
001099 NORTH MS PEST CONTRO	132-01179391	0	2022	6	INV A	489.00	C-032222	PEST CONTROL @ CONC
001102 SOUTHAVEN SUPPLY	128575	0	2022	6	INV A	598.76	C-032222	MISC SUPPLIES
001150 NAPA GENUINE PARTS C	1842-545585	0	2022	6	INV A	15.06	C-032222	WELDING GLOVES
001150 NAPA GENUINE PARTS C	345963	0	2022	6	INV A	44.85	C-032222	AIR CHUCK, GLOVES
001150 NAPA GENUINE PARTS C	350863	0	2022	6	INV A	79.90	C-032222	CHAIN OIL
001150 NAPA GENUINE PARTS C	351650	0	2022	6	INV A	7.40	C-032222	SPARK PLUG
001150 NAPA GENUINE PARTS C	352738	0	2022	6	INV A	41.35	C-032222	HOSE FITTINGS
001150 NAPA GENUINE PARTS C	353984	0	2022	6	INV A	16.98	C-032222	JB WELD
001150 NAPA GENUINE PARTS C	354283	0	2022	6	INV A	107.14	C-032222	BREAK FLUID & GREAS
001150 NAPA GENUINE PARTS C	354450	0	2022	6	INV A	712.44	C-032222	MOTOR OIL
001150 NAPA GENUINE PARTS C	354876	0	2022	6	INV A	18.28	C-032222	HOSE
001150 NAPA GENUINE PARTS C	354942	0	2022	6	INV A	11.48	C-032222	SYRINGE REPAIR KIT
001150 NAPA GENUINE PARTS C	695-346030	0	2022	6	INV A	28.71	C-032222	OIL FILTERS
001150 NAPA GENUINE PARTS C	695-351019	0	2022	6	INV A	78.85	C-032222	DEF ANTIFREEZE
001150 NAPA GENUINE PARTS C	695-352021	0	2022	6	INV A	192.45	C-032222	OIL & GLOVES
001150 NAPA GENUINE PARTS C	695-353802	0	2022	6	INV A	124.65	C-032222	OIL FILTERS
						1,479.54		
002768 KEELING IRRIGATION	S4100701-001	0	2022	6	INV A	202.17	C-032222	IRRIGATION TIMER
007823 AMERICAN PAPER & TWI	4256988	0	2022	6	INV A	308.40	C-032222	JANITORIAL SUPPLIES
007823 AMERICAN PAPER & TWI	4259369	0	2022	6	INV A	7.52	C-032222	JANITORIAL SUPPLIES
007823 AMERICAN PAPER & TWI	4260631	0	2022	6	INV A	257.40	C-032222	JANITORIAL SUPPLIES
						573.32		
011134 WHITFIELD	81395	0	2022	6	INV A	598.73	C-032222	ELECTRIC WORK - QUA
013377 CINTAS	4111576016	0	2022	6	INV A	65.64	C-032222	MATS - ARENA
020490 INTERSTATE BATTERY S	500060120	0	2022	6	INV A	145.40	C-032222	CART BATTERIES
022719 UMB CARD SERVICES	4-26-2022	0	2022	6	INV A	60.66	C-032222	UMB CREDIT CARD PYM
028588 DANIEL MCDOWELL PLUM	2-24-2022	0	2022	6	INV A	425.00	C-032222	PLUMBING @ SOCCER B
029763 GREAT SOUTHERN RECRE	811024	0	2022	6	INV A	874.00	C-032222	SWING BRACKETS
033109 MID-SOUTH EMERGENCY	3858	0	2022	6	INV A	171.00	C-032222	EMERGENCY LIGHTING
034907 SUPPLY LINE/WELLS PL	S1746450-002	0	2022	6	INV A	334.99	C-032222	PLUMBING PARTS



03/16/2022 14:19
1540spri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET C-032222

P 23
apinvgl

YEAR/PERIOD: 2022/1 TO 2022/6				ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION
ACCOUNT TOTAL										19,244.06		
411	612201	PARK MAINTENANCE										
	000216	GRASSLAND IRRIGATION	1177597	0	2022	6	INV	A	1,170.38	C-032222		IRRIGATION REPAIR @
	002869	VULCAN MATERIALS	51114016	0	2022	6	INV	A	911.94	C-032222		LIMESTONE
	007823	AMERICAN PAPER & TWI	4248387	0	2022	6	INV	A	576.93	C-032222		JANITORAL SUPPLIES
	011969	PIONEER MANUFACTURIN	INV827307	0	2022	6	INV	A	732.30	C-032222		FIELD PAINT SOCCER
	019230	WASTE PRO-MEMPHIS	834659	0	2022	6	INV	A	228.80	C-032222		019776 - ARENA (TRA
	019230	WASTE PRO-MEMPHIS	834660	0	2022	6	INV	A	154.00	C-032222		01977 - CHERRY VALL
	019230	WASTE PRO-MEMPHIS	834662	0	2022	6	INV	A	457.60	C-032222		019779 - GREENBROOK
	019230	WASTE PRO-MEMPHIS	834663	0	2022	6	INV	A	116.60	C-032222		019780 - GOLF (TRAS
	019230	WASTE PRO-MEMPHIS	834664	0	2022	6	INV	A	169.34	C-032222		019782 - PARKS OFFI
										1,126.34		
	022383	ADDISON TREE CARE	1-28-2022	0	2022	6	INV	A	1,300.00	C-032222		TREE REMOVAL - SNOW
	026449	KELLY SEPTIC SER	18097	0	2022	6	INV	A	190.00	C-032222		PORTA POTTY - FIELD
ACCOUNT TOTAL										6,007.89		
411	612300	MUNICIPAL GOLF COURSE EXPENSE										
	006738	CALLAWAY GOLF	934411757	0	2022	6	INV	A	114.84	C-032222		GOLF BALLS
	006738	CALLAWAY GOLF	934437129	0	2022	6	INV	A	438.68	C-032222		GOLF SUPPLIES
										553.52		
ACCOUNT TOTAL										553.52		
411	612500	UNIFORMS										
	013377	CINTAS	4102091445	0	2022	6	INV	A	65.64	C-032222		UNIFORMS FOR ARENA
	013377	CINTAS	4105370332	0	2022	6	INV	A	141.49	C-032222		GOLF UNIFORMS
	013377	CINTAS	4107338051	0	2022	6	INV	A	1,073.81	C-032222		PARKS UNIFORMS
	013377	CINTAS	4112136274	0	2022	6	INV	A	382.61	C-032222		PARKS UNIFORMS
	013377	CINTAS	4112136423	0	2022	6	INV	A	141.49	C-032222		GOLF UNIFORMS
	013377	CINTAS	4112264491	0	2022	6	INV	A	65.64	C-032222		ARENA UNIFORMS
	013377	CINTAS	4112828100	0	2022	6	INV	A	141.49	C-032222		GOLF UNIFORMS
	013377	CINTAS	4112828133	0	2022	6	INV	A	393.36	C-032222		PARK UNIFORMS
	013377	CINTAS	4113507913	0	2022	6	INV	A	398.31	C-032222		PARKS UNIFORMS
	013377	CINTAS	9155278798	0	2022	6	INV	A	410.35	C-032222		PARKS UNIFORMS
										3,214.19		
ACCOUNT TOTAL										3,214.19		
411	613100	BALL EQUIPMENT										
	021472	ATHLETIC HOUSE @ SNO	942135	0	2022	6	INV	A	2,099.85	C-032222		BASEBALL EQUIPMENT
	021472	ATHLETIC HOUSE @ SNO	942137	0	2022	6	INV	A	74.12	C-032222		(1) FOUR-WAY PITCHI



03/16/2022 14:19
1540spri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET C-032222

P 24
apinv gla

YEAR/PERIOD: 2022/1 TO 2022/6													
ACCOUNT/VENDOR		INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION				
021472 ATHLETIC HOUSE @ SNO		942138	0	2022	6	INV A	973.42	C-032222	(15) 12" LEG GUARDS				
							3,147.39						
ACCOUNT TOTAL							3,147.39						
411	614000			FUEL & OIL									
009669	GIBSON PROPANE	3133451223	0	2022	6	INV A	2,105.85	C-032222	FUEL & OIL				
ACCOUNT TOTAL							2,105.85						
411	621504			TEAM / REC BALL REFUNDS									
035295	WARREN ASHLEY	3-7-2022	0	2022	6	INV A	55.00	C-032222	CLARA WARREN IS NO				
ACCOUNT TOTAL							55.00						
411	622100			PROFESSIONAL SERVICES									
029763	GREAT SOUTHERN RECRE	811032	22000037	2022	6	INV A	36,255.00	C-032222	POURED PLAYGROUND S				
ACCOUNT TOTAL							36,255.00						
411	626000			UTILITIES									
031719	JIVE COMMUNICATIONS	IN7101008292	0	2022	6	INV A	25.96	C-032222	PHONE - GREENBROOK				
ACCOUNT TOTAL							25.96						
411	627901			UMPIRES									
002574	CARSON MICHAEL A	3-8-2022	0	2022	6	INV A	70.00	C-032222	INDOOR SOCCER UMPIR				
011508	DOCKERY LAWRENCE	3-8-2022	0	2022	6	INV A	285.00	C-032222	INDOOR SOCCER UMPIR				
015545	KLINCK ZACHARY A	2-26-2022	0	2022	6	INV A	70.00	C-032222	INDOOR SOCCER UMPIR				
015545	KLINCK ZACHARY A	3-8-2022	0	2022	6	INV A	495.00	C-032222	INDOOR SOCCER UMPIR				
							565.00						
018076	CHENOWETH BRANDON	3-8-2022	0	2022	6	INV A	205.00	C-032222	INDOOR SOCCER UMPIR				
018253	CHAN DAVID	2-26-2022	0	2022	6	INV A	105.00	C-032222	INDOOR SOCCER UMPIR				
022936	RUGGIERO IV GEORGE	3-8-2022	0	2022	6	INV A	75.00	C-032222	INDOOR SOCCER UMPIR				
025560	THOMAS IAN T	3-8-2022	0	2022	6	INV A	115.00	C-032222	INDOOR SOCCER UMPIR				
028023	REASONS DAVID H	3-8-2022	0	2022	6	INV A	30.00	C-032222	INDOOR SOCCER UMPIR				
028218	COX III DAVID ROYAL	2-26-2022	0	2022	6	INV A	175.00	C-032222	INDOOR SOCCER UMPIR				
028218	COX III DAVID ROYAL	3-8-2022	0	2022	6	INV A	95.00	C-032222	INDOOR SOCCER UMPIR				
							270.00						
029803	SOLOMON ADDILYN	3-8-2022	0	2022	6	INV A	70.00	C-032222	INDOOR SOCCER UMPIR				



03/16/2022 14:19
1540apri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET C-032222

P 25
apinvgl

YEAR/PERIOD: 2022/1 TO 2022/6		PO	YEAR/PR TYP S			WARRANT	CHECK	DESCRIPTION
ACCOUNT/VENDOR	INVOICE							
031116 MEYER BENJAMIN	2-26-2022	0	2022	6	INV A	175.00 C-032222		INDOOR SOCCER UMPIR
031322 VASQUEZ GEORGE	2-26-2022	0	2022	6	INV A	35.00 C-032222		INDOOR SOCCER UMPIR
034377 DYCUS VERA	3-8-2022	0	2022	6	INV A	125.00 C-032222		INDOOR SOCCER UMPIR
034464 DANIEL ANNA	3-8-2022	0	2022	6	INV A	30.00 C-032222		INDOOR SOCCER UMPIR
035271 GRAHAM STEPHEN	3-8-2022	0	2022	6	INV A	260.00 C-032222		INDOOR SOCCER UMPIR
035299 ALLEN KYRA	3-8-2022	0	2022	6	INV A	30.00 C-032222		INDOOR SOCCER UMPIR
ACCOUNT TOTAL						2,445.00		
411 640500	NEIGHBORHOOD PARK RENOVATION							
029763 GREAT SOUTHERN RECRE 811032		22000037	2022	6	INV A	10,372.00 C-032222		POURED PLAYGROUND S
029763 GREAT SOUTHERN RECRE 811033		22000036	2022	6	INV A	38,883.00 C-032222		POURED RUBBER SURFA
						49,255.00		
ACCOUNT TOTAL						49,255.00		
ORG 411 TOTAL						122,834.15		
412	PARK TOURNAMENTS							
412 612400	RESELL / CONCESSION EXPENSE							
000305 MEMPHIS ICE MACHINE 110762		0	2022	6	INV A	367.00 C-032222		CONCESSIONS
000334 ULINE INC 145986463		0	2022	6	INV A	115.16 C-032222		HANGERS
000334 ULINE INC 146300342		0	2022	6	INV A	115.22 C-032222		HANGERS
						230.38		
000642 HOTEL & RESTAURANT 1086127		0	2022	6	INV A	538.54 C-032222		CONCESSIONS EQUIPME
003011 M & M PROMOTIONS 96684		0	2022	6	INV A	1,278.60 C-032222		BALL RETURN - RESAL
003011 M & M PROMOTIONS 96688		0	2022	6	INV A	1,476.27 C-032222		SHIRTS - RESALE
003011 M & M PROMOTIONS 96689		0	2022	6	INV A	489.00 C-032222		SHIRTS - RESALE
						3,243.87		
003538 SYSCO CORPORATION 3140508180		0	2022	6	INV A	6,854.42 C-032222		CONCESSION RETAIL
003538 SYSCO CORPORATION 314496079		0	2022	6	INV A	7,347.46 C-032222		CONCESSIONS - RESAL
003538 SYSCO CORPORATION 314520236		0	2022	6	INV A	461.48 C-032222		CONCESSION RESALE
003538 SYSCO CORPORATION 314520241		0	2022	6	INV A	1,759.43 C-032222		CONCESSIONS RESALE
						16,422.79		
005075 CHICK-FIL-A 11359763		0	2022	6	INV A	236.00 C-032222		CONCESSIONS
005075 CHICK-FIL-A 11392306		0	2022	6	INV A	360.00 C-032222		CONCESSION



03/16/2022 14:19
1540spri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET C-032222

P 26
apinvgl

YEAR/PERIOD: 2022/1 TO 2022/6	ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION
							596.00		
	022105 NCR CORPORATION	6502593441	0	2022	6	INV A	717.50	C-032222	ALOHA SUPPORT
	022806 PEPSI BEVERAGES COMP	27381554	0	2022	6	INV A	2,839.00	C-032222	PEPSI - RESALE
	024982 SMITTY'S SLICES LLC	2-28-2022	0	2022	6	INV A	312.00	C-032222	PIZZA - RESALE (FEB
	024982 SMITTY'S SLICES LLC	3-6-2022	0	2022	6	INV A	1,322.00	C-032222	PIZZA RESALE (MARCH
							1,634.00		
	026772 WILSON SPORTING GOOD	4537113264	0	2022	6	INV A	718.24	C-032222	RACKETS - RESALE
	026772 WILSON SPORTING GOOD	4537136850	0	2022	6	INV A	76.61	C-032222	RACKET BAG - RESALE
	026772 WILSON SPORTING GOOD	4537271599	0	2022	6	INV A	147.61	C-032222	TENNIS RESALE
							942.46		
				ACCOUNT TOTAL			27,531.54		
412	626102			PROMOTIONS					
	007885 PAULSEN PRINTING COM	108339	0	2022	6	INV A	646.00	C-032222	VOLLEYBALL TICKETS
	007885 PAULSEN PRINTING COM	108453	0	2022	6	INV A	400.00	C-032222	TICKETS @ GREENBROO
							1,046.00		
	027776 SOUTHERN SPORTS SPEC	1049	0	2022	6	INV A	1,852.00	C-032222	USSSA FEES - MARCH
	034906 GLOBAL AWARDS, LLC	2813	0	2022	6	INV A	2,013.51	C-032222	BASEBALL AWARDS - R
				ACCOUNT TOTAL			4,911.51		
412	627901			TOURNAMENT UMPIRE FEES					
	031989 HARLOW WILLIAM C	2-17-2022	0	2022	6	INV A	630.00	C-032222	JD HOURS - TENNIS P
				ACCOUNT TOTAL			630.00		
				ORG 412	TOTAL		33,073.05		
511				MUNICIPAL CODE ENFORCEMENT					
511	610100			CLEANING SUPPLIES					
	007823 AMERICAN PAPER & TWI	4239033	0	2022	6	INV A	32.52	C-032222	PINE SOL CLEANER (A
				ACCOUNT TOTAL			32.52		
511	611000			MATERIALS					
	000246 ANIMAL CARE EQUIPMEN	99894	0	2022	6	INV A	103.55	C-032222	MATERIALS
	001102 SOUTHAVEN SUPPLY	127808	0	2022	6	INV A	11.77	C-032222	MATERIALS - COPPER
	010919 TRACTOR SUPPLY CREDI	2048982476	0	2022	6	INV A	99.92	C-032222	MATERIALS - (8) TID

03/16/2022 14:19
1540spri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET C-032222

P 27
apinv gla

YEAR/PERIOD: 2022/1 TO 2022/6	ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION
				ACCOUNT TOTAL			215.24		
511	614900			FEED FOR ANIMALS					
	012713 HILL'S PET NUTRITION	241491789	0	2022	6	INV A	138.60	C-032222	FEED ANIMALS
	012713 HILL'S PET NUTRITION	241554586	0	2022	6	INV A	138.60	C-032222	FEED ANIMALS
							277.20		
				ACCOUNT TOTAL			277.20		
511	622100			PROFESSIONAL SERVICES					
	028872 PRECIOUS PAWS ANIMAL	217090	0	2022	6	INV A	754.00	C-032222	PROF. SERVICES
				ACCOUNT TOTAL			754.00		
				ORG 511		TOTAL	1,278.96		
901				CITY FUEL					
901	614000			FUEL & OIL					
	017201 BEST-WADE PETROLEUM	1040843	22000154	2022	6	INV A	10,291.86	C-032222	GASOLINE @ MAY BLVD
	017201 BEST-WADE PETROLEUM	1041387	22000154	2022	6	INV A	5,144.69	C-032222	FUEL ORDER @ PEPPER
	017201 BEST-WADE PETROLEUM	36138	22000154	2022	6	INV A	13,167.01	C-032222	FUEL ORDER @ PEPPER
							28,603.56		
				ACCOUNT TOTAL			28,603.56		
				ORG 901		TOTAL	28,603.56		
902				EXPENSE ACCOUNTS					
902	620700			CITY BEAUTIFICATION					
	000239 QUALITY LANDSCAPE &	225223	0	2022	6	INV A	3,938.00	C-032222	
	028454 CHANDLERS LAWN SER	79918	0	2022	6	INV A	645.00	C-032222	FEB 2022 MONTHLY MA
				ACCOUNT TOTAL			4,583.00		
902	620750			LANDSCAPE GROUNDS MANICURE ROW					
	028454 CHANDLERS LAWN SER	79909	0	2022	6	INV A	28,500.00	C-032222	FEB. 2022 LAWN MAIN
	028454 CHANDLERS LAWN SER	79919	0	2022	6	INV A	1,450.00	C-032222	FEB. 2022 SPRINGFES
							29,950.00		
				ACCOUNT TOTAL			29,950.00		
902	620902			FACILITIES MANAGEMENT					
	000021 A-1 FIRE PROTECTION	60158	0	2022	6	INV A	290.52	C-032222	FIRE EXTINGUISHERS
	000232 MATHESON & ASSOC LLC	22139	0	2022	6	INV A	1,275.00	C-032222	ALARM SERV. CITY HA
	000232 MATHESON & ASSOC LLC	22144	0	2022	6	INV A	850.00	C-032222	ALARM SERVICES @ 87
	000232 MATHESON & ASSOC LLC	22151	0	2022	6	INV A	950.00	C-032222	ALARM SERV. @ MR DA



03/16/2022 14:19
1540spri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET C-032222

P 28
apinv gla

YEAR/PERIOD: 2022/1 TO 2022/6 ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION
						3,075.00		
000343 NATIONAL BUSINESS FU	CW044162-TDQ	0	2022	6	INV A	1,284.43	C-032222	V-DESK FOR HR DEPT.
000402 CURRY JANITORIAL SER	877364	0	2022	6	INV A	425.00	C-032222	MARCH 2022 FBI OFFI
000469 TRI-STAR COMPANIES,	TC18206	0	2022	6	INV A	1,704.43	C-032222	HVAC SERVICES
000687 SOUTHERN PIPE & SUPP	6392126	0	2022	6	INV A	102.26	C-032222	BUILDING MAT. - GPF
000734 MAGNOLIA ELECTRIC	342965	0	2022	6	INV A	24.40	C-032222	ELEC. REPAIRS - RIG
000949 INTEGRATED COMMUNICA	32331	0	2022	6	INV A	1,860.00	C-032222	SIREN MAINTENANCE
001099 NORTH MS PEST CONTRO	132-01218652	0	2022	6	INV A	84.00	C-032222	PEST CONTROL @ 1855
005668 STATE SYSTEMS INC	147897827	0	2022	6	INV A	1,066.00	C-032222	ALARM SERVICES @ HE
006920 A SAFELOCK INC	11134	0	2022	6	INV A	160.00	C-032222	LOCK SERVICES
007823 AMERICAN PAPER & TWI	4239035	0	2022	6	INV A	79.85	C-032222	JANITORIAL SUPPLIES
011187 UNITED RENTALS	201985575-002	0	2022	6	INV A	570.00	C-032222	HVAC
011401 LIGHT BULB DEPOT, LL	21522589	0	2022	6	INV A	137.50	C-032222	LIGHT BULBS
014437 CB RICHARD ELLIS COR	660057	0	2022	6	INV A	463.06	C-032222	MARCH 2022 RENT
016517 UPCHURCH SERVICES, L	198879	0	2022	6	INV A	333.50	C-032222	PLUMBING SERVICES @
016517 UPCHURCH SERVICES, L	199295	0	2022	6	INV A	301.00	C-032222	HVAC
016517 UPCHURCH SERVICES, L	199878	0	2022	6	INV A	1,769.84	C-032222	HVAC SERVICES
						2,404.34		
018472 M2MANAGEMENT SOLUTIO	2790	0	2022	6	INV A	1,602.35	C-032222	FLEET TRACKING SYST
019694 MID-SOUTH TELECOM	72204	0	2022	6	INV A	130.00	C-032222	COMMUNICATION FROM
019694 MID-SOUTH TELECOM	72205	0	2022	6	INV A	195.00	C-032222	COMMUNICATION/IT
019694 MID-SOUTH TELECOM	72215	0	2022	6	INV A	65.00	C-032222	PHONE SERVICES/TROU
019694 MID-SOUTH TELECOM	72219	0	2022	6	INV A	1,729.00	C-032222	COMMUNICATION/FIRE
019694 MID-SOUTH TELECOM	72222	0	2022	6	INV A	267.46	C-032222	PHONE SERVICES - CO
019694 MID-SOUTH TELECOM	72238	0	2022	6	INV A	1,729.00	C-032222	COMMUNICATION/FIRE
019694 MID-SOUTH TELECOM	72239	0	2022	6	INV A	65.00	C-032222	PHONE SERVICE - TRA
						4,180.46		
028212 UNITED REFRIGERATION	83332010	0	2022	6	INV A	20.35	C-032222	HVAC
030629 AMAZON CAPITAL	1X7XTJNDGN1T	0	2022	6	INV A	345.36	C-032222	#ANKP067K88KPB-OFFI
031070 FRANCE PAINT CO	28	0	2022	6	INV A	1,262.00	C-032222	PAINT SERVICES @ SP



03/16/2022 14:19
1540spri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET C-032222

P 29
apinvgl

YEAR/PERIOD: 2022/1 TO 2022/6		PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION
ACCOUNT/VENDOR	INVOICE							
032120 FACILITIES PREFORMAN	FPG-SOUTHAVEN-0222	0	2022	6	INV A	6,565.57	C-032222	FEB. 2022-CLEANING
033109 MID-SOUTH EMERGENCY	3857	0	2022	6	INV A	270.00	C-032222	FENA STORM SHELTER/
034373 DALE & DALE INC	18617	22000083	2022	6	INV A	760.00	C-032222	ROOM SIGNAGE FOR CI
ACCOUNT TOTAL						28,736.88		
902 622100					PROFESSIONAL SERVICES			
009736 ESRI, INC	94087810	0	2022	6	INV A	6,650.00	C-032222	#151008 - PROFESSIO
022644 CORPORATE PLANNING	54314	0	2022	6	INV A	1,057.00	C-032222	FSA MONTHLY FEES (M
024871 WAGeworks	222-TR44884	0	2022	6	INV A	218.93	C-032222	ADMIN. FEES & ACTI
ACCOUNT TOTAL						7,925.93		
902 625100					STREET IMPROVEMENT			
009591 TRI FIRMA	6320QB	0	2022	6	INV A	20,501.91	C-032222	PEPPERCHASE PIPE
009591 TRI FIRMA	6322QB	0	2022	6	INV A	44,912.02	C-032222	PEPPERCHASE PIPE
						65,413.93		
018221 CIVIL-LINK, LLC	75779	0	2022	6	INV A	1,304.93	C-032222	CITY PAVEMENT PRESE
ACCOUNT TOTAL						66,718.86		
902 625150					DRAINAGE IMPROVEMENT			
018221 CIVIL-LINK, LLC	75776	0	2022	6	INV A	9,294.64	C-032222	LCNOI EROSION CONTR
018221 CIVIL-LINK, LLC	75780	0	2022	6	INV A	3,149.70	C-032222	DRAINAGE IMPROVEMEN
						12,444.34		
ACCOUNT TOTAL						12,444.34		
902 625500 1001					CAPITAL IMPROVEMENTS			
001540 MURPHY & SONS, INC.	2-PAYAPP	0	2022	6	INV A	1,020,696.15	C-032222	AMPHITHEATER (SNOWD
005831 URBANARCH ASSOC PC	21016-A7	0	2022	6	INV A	10,417.29	C-032222	BANKPLUS AMPHITHEAT
ACCOUNT TOTAL						1,031,113.44		
ORG 902 TOTAL						1,181,472.45		
904					LITIGATION			
904 622100					PROFESSIONAL SERVICES			
017086 BUTLER SNOW	10330769	0	2022	6	INV A	25,175.50	C-032222	GENERAL SERVICES TH
ACCOUNT TOTAL						25,175.50		
ORG 904 TOTAL						25,175.50		



03/16/2022 14:19
1540spri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET C-032222

P 30
apinv gla

YEAR/PERIOD: 2022/1 TO 2022/6						
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR TYP S	WARRANT	CHECK	DESCRIPTION

FUND 0010 GENERAL FUND			TOTAL:	1,871,402.89		
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03/16/2022 14:19
1540spri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET C-032222

P 31
apinvglr

YEAR/PERIOD: 2022/1 TO 2022/6
ACCOUNT/VENDOR INVOICE

PO

YEAR/PR TYP S

WARRANT

CHECK

DESCRIPTION

711				BOND PROJECT EXPENSES				
711	614500			MAIN ST PEDESTRIAN SIDEWALK				
000497	DESOTO COUNTY ELECTR	7358	0	2022 6 INV A	1,031.00	C-032222		MAIN STREET PEDESTR
				ACCOUNT TOTAL	1,031.00			
711	625850			MEDLINE PEPPERCHASE				
000212	FERRELL PAVING INC	2-PAYAPP	0	2022 6 INV A	109,925.45	C-032222		PEPPERCHASE DRIVE E
018221	CIVIL-LINK, LLC	75781	0	2022 6 INV A	22,728.58	C-032222		PEPPERCHASE DRIVE E
				ACCOUNT TOTAL	132,654.03			
711	640220			FIRE STATION 5				
016177	A2H	51709	0	2022 6 INV A	5,417.72	C-032222		PH 19495-CITY OF SO
				ACCOUNT TOTAL	5,417.72			
711	640965			GETWELL ROAD SOUTH 18				
018221	CIVIL-LINK, LLC	75777	0	2022 6 INV A	8,577.50	C-032222		GETWELL ROAD WIDENI
018221	CIVIL-LINK, LLC	75778	0	2022 6 INV A	1,969.53	C-032222		GETWELL ROAD WIDENI
					10,547.03			
				ACCOUNT TOTAL	10,547.03			
				ORG 711 TOTAL	149,649.78			
=====								
FUND 0100 BOND FUNDED CAP PROJ					TOTAL:	149,649.78	=====	



03/18/2022 14:19
1540spri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET C-032222

P 32
apinvgl

YEAR/PERIOD: 2022/1 TO 2022/6	ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR TYP S	WARRANT	CHECK	DESCRIPTION
611				SPECIAL ASSESSMENTS EXPEND			
611	626105			SPRINGFEST EXPENSE			
	014094 MAHAFFEY TENT COMPAN	39449	0	2022 6 INV A	4,990.71 C-032222		2022 SPRINGFEST TEN
	016199 HOLLAND INSURANCE	2022	0	2022 6 INV A	9,286.00 C-032222		2022 SPRINGFEST SPE
				ACCOUNT TOTAL	14,276.71		
				ORG 611 TOTAL	14,276.71		
=====							
	FUND 0240	TOURIST & CONVENTION		TOTAL:	14,276.71		
=====							



03/16/2022 14:19
1540spri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET C-032222

P 33
apinvgl

YEAR/PERIOD: 2022/1 TO 2022/6											
ACCOUNT/VENDOR		INVOICE	PO	YEAR/PR TYP S			WARRANT	CHECK	DESCRIPTION		
0400	UTILITY FUND										
0400	130700	ACCOUNTS RECEIVABLE									
002879	LIFESTYLE HOME LLC	40283	0	2022	5	INV A	89.19	C-032222			
002879	LIFESTYLE HOME LLC	40287	0	2022	5	INV A	95.72	C-032222			
							184.91				
012774	ADAMS HOMES	40278	0	2022	5	INV A	110.36	C-032222			
012774	ADAMS HOMES	40280	0	2022	5	INV A	95.72	C-032222			
							206.08				
020810	STRAFUSS MARK A	40288	0	2022	5	INV A	98.36	C-032222			
021080	REGENCY HOME BUILDER	40286	0	2022	5	INV A	95.72	C-032222			
021080	REGENCY HOME BUILDER	40309	0	2022	6	INV A	14.64	C-032222			
							110.36				
023544	GLOBAL LEADER HOMES	40284	0	2022	5	INV A	95.72	C-032222			
023544	GLOBAL LEADER HOMES	40285	0	2022	5	INV A	95.72	C-032222			
							191.44				
026680	SKY LAKE CONSTRUCTIO	40291	0	2022	5	INV A	85.96	C-032222	PAID M&R BUILDERS	I	
026680	SKY LAKE CONSTRUCTIO	40292	0	2022	5	INV A	81.08	C-032222	PAID M&R BUILDERS	I	
026680	SKY LAKE CONSTRUCTIO	40293	0	2022	5	INV A	81.08	C-032222	PAID M&R BUILDERS	I	
026680	SKY LAKE CONSTRUCTIO	40294	0	2022	5	INV A	81.08	C-032222	PAID M&R BUILDERS	I	
026680	SKY LAKE CONSTRUCTIO	40296	0	2022	5	INV A	105.48	C-032222	PAID M&R BUILDERS	I	
026680	SKY LAKE CONSTRUCTIO	40297	0	2022	5	INV A	81.08	C-032222	PAID M&R BUILDERS	I	
026680	SKY LAKE CONSTRUCTIO	40298	0	2022	5	INV A	95.72	C-032222	PAID M&R BUILDERS	I	
026680	SKY LAKE CONSTRUCTIO	40299	0	2022	5	INV A	95.72	C-032222	PAID M&R BUILDERS	I	
026680	SKY LAKE CONSTRUCTIO	40300	0	2022	5	INV A	110.36	C-032222	PAID M&R BUILDERS	I	
026680	SKY LAKE CONSTRUCTIO	40301	0	2022	5	INV A	105.48	C-032222	PAID M&R BUILDERS	I	
026680	SKY LAKE CONSTRUCTIO	40302	0	2022	5	INV A	71.72	C-032222	PAID M&R BUILDERS	I	
026680	SKY LAKE CONSTRUCTIO	40303	0	2022	5	INV A	81.08	C-032222	PAID M&R BUILDERS	I	
							1,075.84				
032214	SETCHFIELD PAULA & D	40304	0	2022	5	INV A	98.36	C-032222			
034210	MYND MANAGEMENT INC	40289	0	2022	5	INV A	71.72	C-032222			
034210	MYND MANAGEMENT INC	40295	0	2022	5	INV A	98.36	C-032222			
							170.08				
035232	GREENE BOBBY & NANCY	40253	0	2022	5	INV A	57.08	C-032222			
035233	TOWLE JAMES JR	40254	0	2022	5	INV A	23.36	C-032222			
035234	FLOREY MELISSA & PHI	40255	0	2022	5	INV A	82.36	C-032222			



03/16/2022 14:19
1540spri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET C-032222

P 34
apinvgl

YEAR/PERIOD: 2022/1 TO 2022/6	ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION
035235	THOMAS MICHAEL	40256	0	2022	5	INV A	2.19	C-032222	
035236	CHAPMAN SCOTT & PATR	40257	0	2022	5	INV A	47.32	C-032222	
035237	GROVES TODD	40258	0	2022	5	INV A	58.66	C-032222	
035238	HOWARD JARVIS	40259	0	2022	5	INV A	30.44	C-032222	
035239	BUCHANAN ANQUELLA &	40260	0	2022	5	INV A	47.32	C-032222	
035240	SMITH GEORGE A	40261	0	2022	5	INV A	8.72	C-032222	
035241	WILLIS ANTRANEKIA &	40262	0	2022	5	INV A	69.08	C-032222	
035242	ROBERTSON TEIA	40263	0	2022	5	INV A	41.56	C-032222	
035243	SOUTHAVEN GET GO	40264	0	2022	5	INV A	28.65	C-032222	
035244	LOWERY MANDY	40265	0	2022	5	INV A	98.36	C-032222	
035245	HALFORD JEFF	40266	0	2022	5	INV A	98.36	C-032222	
035246	BELL KRISTY	40267	0	2022	5	INV A	26.51	C-032222	
035247	COLLUM CHARLENE & RA	40268	0	2022	5	INV A	45.08	C-032222	
035248	RICHARDSON RAVEN	40269	0	2022	5	INV A	51.80	C-032222	
035249	WHITE REGENIA	40270	0	2022	5	INV A	95.72	C-032222	
035250	DUNHAM TONEY CURTIS	40271	0	2022	5	INV A	51.80	C-032222	
035251	WASHINGTON ALEXANDRA	40272	0	2022	5	INV A	45.96	C-032222	
035252	SANDERS CONNIE	40273	0	2022	5	INV A	20.61	C-032222	
035253	BENSON ELIZABETH	40274	0	2022	5	INV A	57.08	C-032222	
035254	WHITE JAMES EDWARD	40275	0	2022	5	INV A	58.66	C-032222	
035255	WILLIAMS MICHAEL	40276	0	2022	5	INV A	52.20	C-032222	
035256	BUFFINGTON EUNICE	40277	0	2022	5	INV A	23.36	C-032222	
035257	DURAN CHRISTOPHER	40279	0	2022	5	INV A	93.48	C-032222	
035258	BLUM DUSTIN & HUDSON	40281	0	2022	5	INV A	95.72	C-032222	
035259	GRAY TARNESHIA T	40282	0	2022	5	INV A	91.83	C-032222	
035260	BENSON JENNY	40290	0	2022	5	INV A	51.80	C-032222	



03/16/2022 14:19
1540spri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET C-032222

P 35
apinv gla

YEAR/PERIOD: 2022/1 TO 2022/6	ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR TYP S	WARRANT	CHECK	DESCRIPTION
	035261 JONES MICHAEL	40305	0	2022 5 INV A	71.72 C-032222		
	035262 FERGUSON LORI	40306	0	2022 5 INV A	98.36 C-032222		
	035356 DESOTO CENTRAL PRIMA	40409	0	2022 6 INV A	8,796.43 C-032222		
	035357 SHAVEN 1818 ALF, LLC	40410	0	2022 6 INV A	17,074.37 C-032222		
				ACCOUNT TOTAL	29,731.38		
0400	211400			FEEES OWED TO NESBIT WATER ASSC			
	010365 NESBIT WATER	3-8-2022	0	2022 6 INV A	3,096.00 C-032222		FEBRUARY 1-28, 2022
				ACCOUNT TOTAL	3,096.00		
0400	212700			CUSTOMER DEPOSITS			
	035306 ZILA LEANNE	3-11-2022	0	2022 6 INV A	200.00 C-032222		DEPOSIT REFUND @ 67
				ACCOUNT TOTAL	200.00		
0400	213101			OVERPAYMENT LIABILITY			
	035300 TONG KARINA	3-8-2022	0	2022 6 INV A	201.00 C-032222		REFUND DEP TO TENAN
				ACCOUNT TOTAL	201.00		
0400	506700			SEWER SALES			
	006229 WYATT DARIA L	3-10-2022	0	2022 6 INV A	2,672.06 C-032222		REFUND-SEWER CHARGE
				ACCOUNT TOTAL	2,672.06		
				ORG 0400 TOTAL	35,900.44		
811				UTILITY EXPENSE ACCOUNTS			
811	650905			DCRUA SEWER TREATMENT FEE			
	004646 DESOTO COUNTY REGION 2669		0	2022 6 INV A	75,935.08 C-032222		MARCH 2022 SEWER CH
				ACCOUNT TOTAL	75,935.08		
811	651400			DCRUA UPGRADE TAP FEES			
	004646 DESOTO COUNTY REGION 3-9-2022		0	2022 6 INV A	11,850.00 C-032222		FEB. 2022 COLLECTED
				ACCOUNT TOTAL	11,850.00		
811	651500			DCRUA TAP FEES			
	004646 DESOTO COUNTY REGION 3-9-2022		0	2022 6 INV A	27,000.00 C-032222		FEB. 2022 COLLECTED
				ACCOUNT TOTAL	27,000.00		
				ORG 811 TOTAL	114,785.08		

03/16/2022 14:19
1540spr1

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET C-032222

P 36
apinvgl

YEAR/PERIOD: 2022/1 TO 2022/6	ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION
815									UTILITY CAPITAL IMPROVEMENTS
815	625300								EXTENSION & OTHER IMPROVEMENTS
	001540 MURPHY & SONS, INC.	3-PAYAPP	0	2022	6	INV A	38,227.05	C-032222	UTILITY CANOPY/PAYA
	016939 ADVANCE ELECTRIC	25374	0	2022	6	INV A	3,339.00	C-032222	REPLACE STARTER @ N
	018221 CIVIL-LINK, LLC	75785	0	2022	6	INV A	7,498.06	C-032222	UTILITY MAPPING & S
	018221 CIVIL-LINK, LLC	75786	0	2022	6	INV A	8,200.09	C-032222	STARLANDING WATER S
	018221 CIVIL-LINK, LLC	75787	0	2022	6	INV A	25,368.60	C-032222	STARLANDING TREATME
	018221 CIVIL-LINK, LLC	75788	0	2022	6	INV A	6,582.83	C-032222	CITY AMR CONVERSION
	018221 CIVIL-LINK, LLC	75789	0	2022	6	INV A	10,762.37	C-032222	TCHULAHOMA PUMP STA
							58,411.95		
							ACCOUNT TOTAL	99,978.00	
815	625300 1550								EXTENSION/OTHER IMPV'S
	033108 PEDAL VALVES INC	317124	0	2022	6	INV A	417,830.32	C-032222	PAY APP 12 - AMI PR
							ACCOUNT TOTAL	417,830.32	
815	625305								SANITARY SEWER EXTENSION
	004494 J R STEWART	35782	0	2022	6	INV A	4,297.78	C-032222	AM-START CAPACITORS
	004494 J R STEWART	35783	22000098	2022	6	INV A	45,629.63	C-032222	(SOLE SOURCE) PUMP
							49,927.41		
	018221 CIVIL-LINK, LLC	75784	0	2022	6	INV A	817.28	C-032222	SANITARY SEWER SERV
							ACCOUNT TOTAL	50,744.69	
							ORG 815 TOTAL	568,553.01	
820									UTILITY ADMINISTRATIVE EXPENSE
820	610400								OFFICE SUPPLIES
	007600 OFFICE DEPOT	225768064001	0	2022	6	INV A	85.96	C-032222	MISC OFFICE SUPPLIE
	007600 OFFICE DEPOT	225771261001	0	2022	6	INV A	59.15	C-032222	PLANNERS & MISC SUP
	007600 OFFICE DEPOT	225771262001	0	2022	6	INV A	5.38	C-032222	MISC OFFICE
							150.49		
	026785 BEST BUY	5919395	0	2022	6	INV A	199.99	C-032222	COMPUTER MONITOR
	026785 BEST BUY	5919600	0	2022	6	INV A	399.98	C-032222	COMPUTER MOVITORS
							599.97		
	029120 YOUNG LEASING CO	INV4619859	0	2022	6	INV A	1,797.00	C-032222	HD351398-HD351396-H
	030629 AMAZON CAPITAL	1DR1NYL6QFL9	0	2022	6	INV A	106.70	C-032222	#ANKP067K88KPB-CASI
							ACCOUNT TOTAL	2,654.16	



03/16/2022 14:19
1540spri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET C-032222

P 38
apinv gla

YEAR/PERIOD: 2022/1 TO 2022/6		PO	YEAR/PR TYP S			WARRANT	CHECK	DESCRIPTION
ACCOUNT/VENDOR	INVOICE							
007600 OFFICE DEPOT	2553956230	0	2022	6	INV A	503.94	C-032222	BATTERY UPS BACKUPS
007766 CENTRAL PIPE SUPPLY,	S100286348-001	0	2022	6	INV A	1,850.00	C-032222	2" METERS
007766 CENTRAL PIPE SUPPLY,	S100288287-001	0	2022	6	INV A	4,992.00	C-032222	PVC PIPE
						6,842.00		
008561 S & H SMALL ENGINES	68731	0	2022	6	INV A	69.09	C-032222	SPRAYER & STARTER C
008561 S & H SMALL ENGINES	68732	0	2022	6	INV A	4.48	C-032222	MISC SUPPLIES FOR L
						73.57		
010919 TRACTOR SUPPLY CREDI	200907308	0	2022	6	INV A	94.98	C-032222	WEIDING HELMET & HE
020637 IAC, INC	1262382	0	2022	6	INV A	4,278.17	C-032222	SOFT START FOR GETW
021107 VERMEER MIDSOUTH INC	264739	0	2022	6	INV A	710.96	C-032222	ROPE & SAW, MISC
022719 UMB CARD SERVICES	4-26-2022	0	2022	6	INV A	262.14	C-032222	UMB CREDIT CARD PYM
028212 UNITED REFRIGERATION	83261154	0	2022	6	INV A	60.96	C-032222	MOTOR START CAPACIT
030629 AMAZON CAPITAL	1FFX9HCYP96Y	0	2022	6	INV A	93.99	C-032222	#ANK067K88KPB-RUBBE
			ACCOUNT TOTAL			30,240.56		
825 611100			CHEMICALS					
001146 IDEAL CHEMICAL	2692315	0	2022	6	INV A	3,087.50	C-032222	CHEMICALS FOR GREEN
001146 IDEAL CHEMICAL	269234	0	2022	6	INV A	1,155.50	C-032222	CHEMICALS FOR WHITW
001146 IDEAL CHEMICAL	269236	0	2022	6	INV A	3,087.50	C-032222	CHEMICALS FOR GETWE
001146 IDEAL CHEMICAL	269237	0	2022	6	INV A	1,155.50	C-032222	CHEMICALS FOR COLLE
001146 IDEAL CHEMICAL	269462	0	2022	6	INV A	2,165.75	C-032222	CHEMICALS FOR GREEN
001146 IDEAL CHEMICAL	269658	0	2022	6	INV A	3,087.50	C-032222	CHEMICALS FOR WHITW
001146 IDEAL CHEMICAL	269659	0	2022	6	INV A	1,155.50	C-032222	CHEMICALS FOR GREEN
001146 IDEAL CHEMICAL	269660	0	2022	6	INV A	921.75	C-032222	CHEMICALS FOR GETWE
001146 IDEAL CHEMICAL	269661	0	2022	6	INV A	1,932.00	C-032222	CAUSTIC SODA FOR CO
						17,748.50		
			ACCOUNT TOTAL			17,748.50		
825 611300			MAINTENANCE VEHICLES					
000883 AMERICAN TIRE REPAIR	156885	0	2022	6	INV A	25.00	C-032222	TIRE PLUGING FOR TR
000883 AMERICAN TIRE REPAIR	158074	0	2022	6	INV A	110.00	C-032222	FLAT REPAIR TRUCK #
						135.00		
000979 SOUTHAVEN CAR CARE	39255	0	2022	6	INV A	70.72	C-032222	ROUTINE MAINTENANCE
007304 O'REILLYS AUTO PARTS	1257-169068	0	2022	6	INV A	59.26	C-032222	WIPER BLADES & LIGH
007304 O'REILLYS AUTO PARTS	1257-170128	0	2022	6	INV A	878.76	C-032222	FUEL TREATMENT, CLE



03/16/2022 14:19
1540spri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET C-032222

P 39
apinvgl

YEAR/PERIOD: 2022/1 TO 2022/6									
ACCOUNT/VENDOR		INVOICE	PO	YEAR/PR TYP S			WARRANT	CHECK	DESCRIPTION
							938.02		
029563	LANDERS FORD SOUTH	139144	0	2022	6	INV A	142.04	C-032222	ROUTINE MAINTENANCE
029563	LANDERS FORD SOUTH	139226	0	2022	6	INV A	367.94	C-032222	SPARK KEYS FOR TRUC
							509.98		
ACCOUNT TOTAL							1,653.72		
825	612200			MAINTENANCE EQUIPMENT & BUILD					
000691	NORTH MISSISSIPPI TI	60641	0	2022	6	INV A	106.07	C-032222	TIRE FOR TRAILER
000883	AMERICAN TIRE REPAIR	156988	0	2022	6	INV A	53.00	C-032222	FLAT REPAIR
007304	O'REILLYS AUTO PARTS	1257-171221	0	2022	6	INV A	44.97	C-032222	COOLANT FOR JCB TRA
ACCOUNT TOTAL							204.04		
825	612500			UNIFORMS					
013377	CINTAS	4108845918	0	2022	6	INV A	436.69	C-032222	UNIFORMS
013377	CINTAS	4111577383	0	2022	6	INV A	407.60	C-032222	UNIFORMS
013377	CINTAS	4112266035	0	2022	6	INV A	407.60	C-032222	UNIFORMS
013377	CINTAS	4112954304	0	2022	6	INV A	377.12	C-032222	UNIFORMS
							1,629.01		
022719	UMB CARD SERVICES	4-26-2022	0	2022	6	INV A	197.70	C-032222	UMB CREDIT CARD PYM
030629	AMAZON CAPITAL	1FRTGNKV19H3	0	2022	6	INV A	346.00	C-032222	#ANKP067K88KPB-CHRE
ACCOUNT TOTAL							2,172.71		
825	614000			FUEL & OIL					
025130	BULLFROG MART LLC	1016698	0	2022	6	INV A	199.13	C-032222	FUEL (ETHENOL FREE)
ACCOUNT TOTAL							199.13		
825	622100			PROFESSIONAL SERVICES					
000023	A-1 SEPTIC TANK SERV	23614	0	2022	6	INV A	390.00	C-032222	PUMPED OUT MANHOLD
000023	A-1 SEPTIC TANK SERV	23777	0	2022	6	INV A	1,440.00	C-032222	PUMPING LIFT STATIO
							1,830.00		
005329	TENCARVA MACHINERY C	926692	0	2022	6	INV A	3,667.14	C-032222	REPAIRS AT WOODLAND
006917	THE SHOP	3269	0	2022	6	INV A	135.00	C-032222	LETTERING & SEALS F
006920	A SAFELOCK INC	11116	0	2022	6	INV A	80.00	C-032222	LOCK OUT TRUCK #815
018221	CIVIL-LINK, LLC	75783	0	2022	6	INV A	3,087.50	C-032222	UTILITIES RPR SERVI



03/16/2022 14:19
1540spri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET C-032222

P 40
apinv gla

YEAR/PERIOD: 2022/1 TO 2022/6	ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR TYP S	WARRANT	CHECK	DESCRIPTION
	020454 DIRECTFX	M41131	0	2022 6 INV A	55.00 C-032222		BUSINESS CARDS FOR
	025672 WISSCO	22066	0	2022 6 INV A	350.00 C-032222		SERVICE CALL FOR HU
				ACCOUNT TOTAL	9,204.64		
825	624500			LICENSES & MISCELLANEOUS FEES			
	000140 AMERICAN WATER WORKS	7001998187	0	2022 6 INV A	248.00 C-032222		RENEWAL FOR RAY HUM
	001363 HEFFNER MISTY	73441	0	2022 6 INV A	104.00 C-032222		SEWER EASEMENT FEES
	022923 WIN 911 SOFTWARE	55A40265-2022526	0	2022 6 INV A	1,320.00 C-032222		LICENSE#8007874 & 8
				ACCOUNT TOTAL	1,672.00		
825	630600			VEHICLES			
	024154 DISCOUNT TIRE	1282021	0	2022 6 INV A	866.00 C-032222		TIRES FOR TRUCK #85
				ACCOUNT TOTAL	866.00		
			ORG 825	TOTAL	63,961.30		
=====					=====		
FUND 0400 UTILITY FUND					TOTAL:	797,804.73	
=====					=====		



03/16/2022 14:19
1540spri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET C-032222

P 41
apinv gla

YEAR/PERIOD: 2022/1 TO 2022/6											
ACCOUNT/VENDOR		INVOICE		PO		YEAR/PR TYP S		WARRANT		CHECK DESCRIPTION	
850				MAINTENANCE EXPENSES							
850	622100				PROFESSIONAL SERVICES						
007500	SWEEPING CORPORATION	SCA005715	0	2022	6	INV A		300.00	C-032222		
007500	SWEEPING CORPORATION	SCA007442	0	2022	6	INV A		41,666.00	C-032222	SWEEPING SERVICE PE	
007500	SWEEPING CORPORATION	SCA007455	0	2022	6	INV A		300.00	C-032222	SWEEPING SERV PER C	
								42,266.00			
008127	WASTE CONNECTIONS OF	6010-02-22-001	0	2022	6	INV A		223,668.24	C-032222	FEB. 2022 - TRASH S	
008127	WASTE CONNECTIONS OF	6510691W010	0	2022	6	INV A		573.30	C-032222	6010-1032760-001/87	
008127	WASTE CONNECTIONS OF	6510748W010	0	2022	6	INV A		237.95	C-032222	6010-1034234/8554 N	
008127	WASTE CONNECTIONS OF	6511882W010	0	2022	6	INV A		272.21	C-032222	6010-1122820/8191 T	
008127	WASTE CONNECTIONS OF	6513150W010	0	2022	6	INV A		194.68	C-032222	6010-1142267/7320 H	
								224,946.38			
ACCOUNT TOTAL								267,212.38			
ORG 850 TOTAL								267,212.38			
=====											
FUND 0450 SANITATION FUND								TOTAL:		267,212.38	
=====											

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03/16/2022 13:41
1540spri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET D-032222

P 1
apinv gla

YEAR/PERIOD: 2022/1	TO 2022/6							
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION
111			MAYOR ADMIN DEPARTMENT					
111	625700		TELEPHONE & POSTAGE					
001167	AT&T MOBILITY	3690-030322	0	2022	6 INV A	56.08 D-032222		287266623690- MAYOR
			ACCOUNT TOTAL			56.08		
			ORG 111		TOTAL	56.08		
125			COURT DEPARTMENT					
125	621505		COURT SUPPLIES					
001095	VERIZON WIRELESS	9900808556	0	2022	6 INV P	80.02 D-032222	192283	642151677-00001/FEB
007504	PAETEC	3-10-2022	0	2022	6 INV A	61.00 D-032222		ACCT 61147293-
			ACCOUNT TOTAL			141.02		
125	622100		PROFESSIONAL SERVICES					
030534	DATAFACTS	164832	0	2022	6 INV P	13.50 D-032222	192200	EMPLOYEE BACKGROUND
			ACCOUNT TOTAL			13.50		
			ORG 125		TOTAL	154.52		
145			DEPARTMENT OF FINANCE & ADMIN					
145	625700		TELEPHONE & POSTAGE					
001095	VERIZON WIRELESS	9900808556	0	2022	6 INV P	80.02 D-032222	192283	642151677-00001/FEB
001167	AT&T MOBILITY	7941-030322	0	2022	6 INV A	163.39 D-032222		287280227941- HR CE
			ACCOUNT TOTAL			243.41		
			ORG 145		TOTAL	243.41		
150			INFORMATION TECHNOLOGY					
150	610500		COMPUTERS					
002351	COMCAST	1174-020822	0	2022	5 INV P	121.42 D-032222	191947	8396 01 001 0001174
013650	BATTERIES PLUS	P41900241	0	2022	6 INV P	29.14 D-032222	192212	RE-ISSUE/ BATTERY B
			ACCOUNT TOTAL			150.56		
150	610550		NETWORK CONNECTIVITY					
001095	VERIZON WIRELESS	9900808556	0	2022	6 INV P	160.14 D-032222	192283	642151677-00001/FEB
001167	AT&T MOBILITY	3491-030322	0	2022	6 INV A	206.35 D-032222		287251543491- SD WA
001167	AT&T MOBILITY	639550939	0	2022	6 INV P	2,643.00 D-032222	192205	057847581-CRADLEPOI
						2,849.35		
007504	PAETEC	3-10-2022	0	2022	6 INV A	10,932.16 D-032222		ACCT 61147293-
			ACCOUNT TOTAL			13,941.65		



03/16/2022 13:41
1540spri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET D-032222

P 3
apinv gla

YEAR/PERIOD: 2022/1 TO 2022/6	ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP S	WARRANT	CHECK	DESCRIPTION
211	622100							
030534	DATAFACTS	164832	0	2022 6	INV P	46.50 D-032222	192200	EMPLOYEE BACKGROUND
					ACCOUNT TOTAL	46.50		
211	625700							
001095	VERIZON WIRELESS	9900808556	0	2022 6	INV P	4,782.15 D-032222	192283	642151677-00001/FEB
001167	AT&T MOBILITY	7424-022722	0	2022 6	INV A	4,710.29 D-032222		287288007424- UTILI
001234	CENTURYLINK	1223-021022	0	2022 5	INV P	290.56 D-032222	191943	300091223 - PHONES
007504	PAETEC	3-10-2022	0	2022 6	INV A	117.00 D-032222		ACCT 61147293-
018521	SOUTHERN TELECOMMUNI	2-28-2022	0	2022 6	INV A	573.28 D-032222		2480/662-393-4898 (
					ACCOUNT TOTAL	10,473.28		
211	626000							
000966	ENTERGY	145006542080	0	2022 5	INV P	28.17 D-032222	191950	133300244 - 8691 NO
000966	ENTERGY	175006458900	0	2022 5	INV P	1,231.59 D-032222	191951	151475605 - 7320 HI
000966	ENTERGY	245005888481	0	2022 5	INV P	11.47 D-032222	191949	167750496 - 7505 CH
000966	ENTERGY	390003549012	0	2022 5	INV P	2,283.30 D-032222	191951	37423837 - 8691 NOT
000966	ENTERGY	435004161829	0	2022 5	INV P	11.32 D-032222	191949	167750488 - 2719 BR
						3,565.85		
001145	ATMOS ENERGY	4805-022222	0	2022 6	INV P	686.22 D-032222	192199	4029104805 - 7320 H
001145	ATMOS ENERGY	50342-032122	0	2022 6	INV P	256.67 D-032222	192280	4008850342 - 1855 V
001145	ATMOS ENERGY	6621-022122	0	2022 6	INV P	124.24 D-032222	192199	3020696621 - 6450 G
001145	ATMOS ENERGY	6889-030222	0	2022 6	INV P	396.33 D-032222	192280	3017116889 - 8691 N
						1,463.46		
002351	COMCAST	1174-020822	0	2022 5	INV P	457.86 D-032222	191947	8396 01 001 0001174
					ACCOUNT TOTAL	5,487.17		
211	626900							
035265	HINDS CHARLES	3-1-2022	0	2022 6	INV P	36.00 D-032222	192198	PER DIEM REFRESHER
					ACCOUNT TOTAL	36.00		
211	630400							
013136	AT&T	1878-022322	0	2022 6	INV P	8,036.00 D-032222	192279	662 M10-7046 001 18
					ACCOUNT TOTAL	8,036.00		
				ORG 211	TOTAL	24,103.31		



03/16/2022 13:41
1540spri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET D-032222

P 5
apinvgl

YEAR/PERIOD: 2022/1 TO 2022/6	ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR TYP S	WARRANT	CHECK	DESCRIPTION
				ACCOUNT TOTAL	9,007.95		
290	626900			TRAVEL & TRAINING			
001147	NEXAIR LLC	9487128	0	2022 6 INV P	120.51 D-032222	192238	RE-ISSUE/RENTAL OF
				ACCOUNT TOTAL	120.51		
				ORG 290 TOTAL	14,018.53		
297				EMS			
297	610701			MEDICAL SUPPLIES			
001147	NEXAIR LLC	9518265	0	2022 6 INV P	68.96 D-032222	192238	RE-ISSUE/MEDICAL SU
001147	NEXAIR LLC	9527969	0	2022 6 INV P	143.98 D-032222	192238	RE-ISSUE/ MEDICAL S
001147	NEXAIR LLC	9568440	0	2022 6 INV P	274.80 D-032222	192238	RE-ISSUE/ JANUARY R
					487.74		
				ACCOUNT TOTAL	487.74		
				ORG 297 TOTAL	487.74		
311				PUBLIC WORKS DEPARTMENT			
311	622100			PROFESSIONAL SERVICES			
004781	FAMILY MEDICAL CLINI	800	0	2022 6 INV P	270.00 D-032222	192202	PRE-EMPLOYMENT SCRE
030534	DATAFACTS	164832	0	2022 6 INV P	17.50 D-032222	192200	EMPLOYEE BACKGROUND
				ACCOUNT TOTAL	287.50		
311	625700			TELEPHONE & POSTAGE			
001095	VERIZON WIRELESS	9900808556	0	2022 6 INV P	80.02 D-032222	192283	642151677-00001/FEB
001167	AT&T MOBILITY	9041-030322	0	2022 6 INV A	524.64 D-032222		287251729041- PUBLI
007504	PAETEC	3-10-2022	0	2022 6 INV A	61.00 D-032222		ACCT 61147293-
				ACCOUNT TOTAL	665.66		
311	626000			UTILITIES			
000966	ENTERGY	195006597918	0	2022 6 INV A	1,582.86 D-032222		16833121 - 5813 PEP
000966	ENTERGY	420002876332	0	2022 6 INV A	11.69 D-032222		98050180 - 5813 PEP
					1,594.55		
001145	ATMOS ENERGY	6196-022222	0	2022 6 INV P	1,823.00 D-032222	192199	3016966196 - 5813 P
001145	ATMOS ENERGY	6445-022222	0	2022 6 INV P	2,005.63 D-032222	192199	3016966445 - 5813 P
001145	ATMOS ENERGY	6721-022222	0	2022 6 INV P	1,523.84 D-032222	192199	3016966721 - 5813 P
					5,352.47		
001388	HORN LAKE WATER ASSO	3-20-22	0	2022 6 INV P	220.03 D-032222	192226	030257000- 5813 PEP



03/16/2022 13:41
1540spri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET D-032222

P 7
apinvgl

YEAR/PERIOD: 2022/1		TO 2022/6	ACCOUNT/VENDOR		INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION
000966	ENTERGY			465003998952		0	2022	6	INV A	34.20 D-032222		68387034 - 249 GOOD
000966	ENTERGY			470002940821		0	2022	5	INV P	351.81 D-032222	191951	16832230 - 453 AIRP
000966	ENTERGY			470002940822		0	2022	5	INV P	8.69 D-032222	191949	16834756 - SOUTH CI
000966	ENTERGY			485003939655		0	2022	6	INV A	52.94 D-032222		150262913 - CHERRY
000966	ENTERGY			510001619050		0	2022	5	INV P	167.29 D-032222	191950	100968049 - 8770 NO
000966	ENTERGY			520001597326		0	2022	6	INV A	26.66 D-032222		59478867 - 6345 AIR
000966	ENTERGY			520001597327		0	2022	6	INV A	21.87 D-032222		59478941 - 6610 AIR
000966	ENTERGY			540001533017		0	2022	5	INV P	7.38 D-032222	191949	31166523 - 1200 BRO
000966	ENTERGY			570001453211		0	2022	5	INV P	18.03 D-032222	191949	64945074 - 805 RASC
000966	ENTERGY			60007146854		0	2022	5	INV P	28.32 D-032222	191950	68134584 - HAMILTON
000966	ENTERGY			70007073532		0	2022	6	INV A	27.49 D-032222		63799183 - 6715 HOS
000966	ENTERGY			90006946646		0	2022	5	INV P	28.99 D-032222	191950	68134634 - NORTHWES
000966	ENTERGY			90006946647		0	2022	5	INV P	68.28 D-032222	191950	68135326 - STATE LI
000966	ENTERGY			95006720346		0	2022	5	INV P	25.14 D-032222	191949	47904040 - 8683 AIR
										76,351.41		
001105	NORTHCENTRAL ELECTRI			7002-022422		0	2022	6	INV P	297.53 D-032222	192239	59247002 - MALONE R
001105	NORTHCENTRAL ELECTRI			7008-020322		0	2022	5	INV P	4,587.88 D-032222	191953	59247008 - ST LIGHT
001105	NORTHCENTRAL ELECTRI			7008-030722		0	2022	6	INV A	4,577.14 D-032222		59247008 - ST LIGHT
001105	NORTHCENTRAL ELECTRI			7009-022422		0	2022	6	INV P	94.40 D-032222	192239	59247009 - 3750 FRE
001105	NORTHCENTRAL ELECTRI			7012-022422		0	2022	6	INV P	722.87 D-032222	192239	59247012 - 3750 FRE
001105	NORTHCENTRAL ELECTRI			7013-022422		0	2022	6	INV P	27.26 D-032222	192239	59247013 - 3750 FRE
001105	NORTHCENTRAL ELECTRI			7017-030122		0	2022	6	INV P	27.49 D-032222	192270	59247017 - STATELIN
001105	NORTHCENTRAL ELECTRI			7018-022422		0	2022	6	INV P	46.53 D-032222	192239	59247018 - GOODMAN
										10,381.10		
ACCOUNT TOTAL										86,732.51		
ORG 315 TOTAL										86,732.51		
411	PARKS DEPARTMENT											
411	612200	MAINTENANCE EQUIPMENT & BUILD										
013650	BATTERIES PLUS			P45295459		0	2022	6	INV P	6.78 D-032222	192212	RE-ISSUE/ TUBE FLUO
ACCOUNT TOTAL										6.78		
411	612201	PARK MAINTENANCE										
013650	BATTERIES PLUS			P43031285		0	2022	6	INV P	15.38 D-032222	192212	RE-ISSUE/ LU250 BUL
013650	BATTERIES PLUS			P44689353		0	2022	6	INV P	29.55 D-032222	192212	RE-ISSUE/ AA BATTER
										44.93		
ACCOUNT TOTAL										44.93		
411	622100	PROFESSIONAL SERVICES										
004781	FAMILY MEDICAL CLINI	800				0	2022	6	INV P	240.00 D-032222	192202	PRE-EMPLOYMENT SCRE
030534	DATAFACTS			164832		0	2022	6	INV P	61.00 D-032222	192200	EMPLOYEE BACKGROUND
ACCOUNT TOTAL										301.00		



03/16/2022 13:41
1540spri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET D-032222

P 9
apinvgl

YEAR/PERIOD: 2022/1 TO 2022/6		ACCOUNT/VENDOR		INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION
				ORG 411	TOTAL		28,868.97				
412	PARK TOURNAMENTS										
412	627901	TOURNAMENT UMPIRE FEES									
008692	WELCH HENRY	3-5-2022	0	2022	6	INV	P	595.00	D-032222	192276	MARCH MADNESS UMPIR
008827	BESHEARS COURTNEY	3-5-22	0	2022	6	INV	P	198.00	D-032222	192214	SCOREKEEPERS-MARCH
008915	RUCKER JOSEPH M	3-5-2022	0	2022	6	INV	P	170.00	D-032222	192273	MARCH MADNESS UMPIR
009480	BAXTER ED	3-5-2022	0	2022	6	INV	P	595.00	D-032222	192257	MARCH MADNESS UMPIR
010300	JONES LARRY SHANE	3-5-22	0	2022	6	INV	P	110.00	D-032222	192231	SCOREKEEPERS-MARCH
014597	DUNCAN CATHY C	3-5-2022	0	2022	6	INV	P	510.00	D-032222	192264	MARCH MADNESS UMPIR
019187	BEAL NIKKI	3-5-22	0	2022	6	INV	P	66.00	D-032222	192213	SCOREKEEPERS-MARCH
021399	JORDAN JORDAN	3-5-22	0	2022	6	INV	P	770.00	D-032222	192233	SCOREKEEPERS-MARCH
021400	TAYLOR JASON L	3-5-2022	0	2022	6	INV	P	680.00	D-032222	192275	MARCH MADNESS UMPIR
023838	JAMES LOWREY P	3-5-22	0	2022	6	INV	P	66.00	D-032222	192228	SCOREKEEPERS-MARCH
026760	WILSON VICTORIA	3-5-2022	0	2022	6	INV	P	200.00	D-032222	192277	MARCH MADNESS UMPIR
027449	ANDERSON MICHAEL	3-5-2022	0	2022	6	INV	P	510.00	D-032222	192253	MARCH MADNESS UMPIR
027983	DOYLE SUNDAL	3-5-22	0	2022	6	INV	P	226.00	D-032222	192220	SCOREKEEPERS-MARCH
027984	CRITTENDEN TAYLOR	3-5-22	0	2022	6	INV	P	154.00	D-032222	192219	SCOREKEEPERS-MARCH
028233	SHEARON ANESSIA	3-5-22	0	2022	6	INV	P	66.00	D-032222	192244	SCOREKEEPERS-MARCH
028596	MCCOY JERRY	3-5-2022	0	2022	6	INV	P	722.50	D-032222	192269	MARCH MADNESS UMPIR
029256	CARMICHAEL JONATHAN	3-5-2022	0	2022	6	INV	P	2,100.00	D-032222	192262	MARCH MADNESS UMPIR
029654	BAKER II NELSON WARD	3-5-22	0	2022	6	INV	P	88.00	D-032222	192210	SCOREKEEPERS-MARCH
029772	BENAFIELD STEPHEN	3-5-2022	0	2022	6	INV	P	552.50	D-032222	192258	MARCH MADNESS UMPIR
029777	ORF GAYLON	3-5-2022	0	2022	6	INV	P	680.00	D-032222	192271	MARCH MADNESS UMPIR
029778	JETER CHRISTOPHER W	3-5-2022	0	2022	6	INV	P	680.00	D-032222	192267	MARCH MADNESS UMPIR
029942	ARVIN PHILLIP	3-5-2022	0	2022	6	INV	P	637.50	D-032222	192254	MARCH MADNESS UMPIR
030217	DOGAN JEREMY	3-5-2022	0	2022	6	INV	P	552.50	D-032222	192263	MARCH MADNESS UMPIR
030226	BIRD JR RUSSELL	3-5-2022	0	2022	6	INV	P	297.50	D-032222	192259	MARCH MADNESS UMPIR



03/16/2022 13:41
1540spri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET D-032222

P 11
apinv gla

YEAR/PERIOD: 2022/1		TO 2022/6	INVOICE		PO	YEAR/PR TYP S		WARRANT	CHECK	DESCRIPTION
035280	BOSWOOD ALYSSA	3-5-22	0	2022	6	INV	P	132.00	D-032222	192215 SCOREKEEPERS-MARCH
035281	UNDERWOOD LORI	3-5-22	0	2022	6	INV	P	88.00	D-032222	192251 SCOREKEEPERS-MARCH
035282	BATES WESLEY HUNTER	3-5-22	0	2022	6	INV	P	198.00	D-032222	192211 SCOREKEEPERS-MARCH
035283	HILL AMY	3-5-22	0	2022	6	INV	P	66.00	D-032222	192224 SCOREKEEPERS-MARCH
035284	ALEXANDER KINSLEY	3-5-22	0	2022	6	INV	P	88.00	D-032222	192209 SCOREKEEPERS-MARCH
035286	UNDERWOOD ALAN	3-5-22	0	2022	6	INV	P	88.00	D-032222	192250 SCOREKEEPERS-MARCH
035287	POWERS CLAYTON	3-5-22	0	2022	6	INV	P	88.00	D-032222	192242 SCOREKEEPERS-MARCH
035288	WRIGHT MEGAN	3-5-22	0	2022	6	INV	P	154.00	D-032222	192252 SCOREKEEPERS-MARCH
035289	KIRK KEON	3-5-22	0	2022	6	INV	P	66.00	D-032222	192235 SCOREKEEPERS-MARCH
035290	SIPPS CAMERON	3-5-22	0	2022	6	INV	P	110.00	D-032222	192245 SCOREKEEPERS-MARCH
035293	SPRATT DAMIYAH	3-5-22	0	2022	6	INV	P	220.00	D-032222	192247 SCOREKEEPERS-MARCH
035298	BRENTS KALAH	3-5-2022	0	2022	6	INV	P	340.00	D-032222	192261 MARCH MADNESS UMPIR
ACCOUNT TOTAL								18,560.00		
ORG 412 TOTAL								18,560.00		
MUNICIPAL CODE ENFORCEMENT										
PROFESSIONAL SERVICES										
030534	DATAFACTS	164832	0	2022	6	INV	P	13.50	D-032222	192200 EMPLOYEE BACKGROUND
ACCOUNT TOTAL								13.50		
TELEPHONE & POSTAGE										
001167	AT&T MOBILITY	7723-030322	0	2022	6	INV	A	280.40	D-032222	287269097723- ANIMA
ACCOUNT TOTAL								280.40		
ORG 511 TOTAL								293.90		
EXPENSE ACCOUNTS										
FACILITIES MANAGEMENT										
000966	ENTERGY	255005769490	0	2022	5	INV	P	562.81	D-032222	191951 130057649 - 7312 HI
000966	ENTERGY	295005488084	0	2022	6	INV	A	19.23	D-032222	17624743 - 6200 GET
000966	ENTERGY	300003624732	0	2022	6	INV	A	19.31	D-032222	17623570 - 6052 ELM
000966	ENTERGY	310003604731	0	2022	5	INV	P	17.49	D-032222	191949 110165339 - 5730 ST
000966	ENTERGY	345004893705	0	2022	5	INV	P	130.00	D-032222	191950 80540586 - 8889 NOR
000966	ENTERGY	455004037611	0	2022	6	INV	A	17.23	D-032222	109997221 - 2009 ST
000966	ENTERGY	455004037612	0	2022	6	INV	A	20.19	D-032222	109997247 - 165 STA
000966	ENTERGY	470002940820	0	2022	5	INV	P	4,535.13	D-032222	191951 16831992 - 8700 NO



03/16/2022 13:41
1540spri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET D-032222

P 13
apinvgl

YEAR/PERIOD: 2022/1 TO 2022/6	ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR TYP S	WARRANT	CHECK	DESCRIPTION
611				SPECIAL ASSESSMENTS EXPEND			
611	626105			SPRINGFEST EXPENSE			
	024991 WILDCAT CHEERLEADER	3-7-2022	0	2022 6 INV P	700.00 D-032222		192246 WILDCATS FEE FOR SP
	024991 WILDCAT CHEERLEADER	3-7-22	0	2022 6 INV P	60.00 D-032222		192246 22' SPRINGFEST WILD
					760.00		
				ACCOUNT TOTAL	760.00		
				ORG 611 TOTAL	760.00		
=====							
	FUND 0240 TOURIST & CONVENTION			TOTAL:	760.00		
=====							



03/16/2022 13:41
1540spri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET D-032222

P 15
apinv gla

YEAR/PERIOD: 2022/1 TO 2022/6									
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR	TYP	S	WARRANT	CHECK	DESCRIPTION	
						284.22			
001145 ATMOS ENERGY	1609-022422	0	2022	6	INV P	23.47 D-032222	192256	4012381609 - 4164 H	
001145 ATMOS ENERGY	1654-022222	0	2022	6	INV P	20.36 D-032222	192199	4012381654 - 53 WOO	
001145 ATMOS ENERGY	4023-030322	0	2022	6	INV P	15.86 D-032222	192256	4009764023 - 8779 W	
						59.69			
002351 COMCAST	1174-020822	0	2022	5	INV P	678.10 D-032222	191947	8396 01 001 0001174	
					ACCOUNT TOTAL	23,303.29			
					ORG 825 TOTAL	25,212.45			
=====									
FUND 0400 UTILITY FUND						TOTAL:	25,212.45		
=====									



03/16/2022 13:37
1540spri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET W-032222

P 1
apinvgl

YEAR/PERIOD: 2022/1 TO 2022/6	ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR TYP S	WARRANT	CHECK	DESCRIPTION
0010				GENERAL FUND			
0010	211300			SALES TAX PAYABLE			
	001176 MS DEPT OF REVENUE	40307	0	2022 6 DIR P	1,192.02 W-032222	57012	FEBRUARY 2022 SALES
				ACCOUNT TOTAL	1,192.02		
				ORG 0010 TOTAL	1,192.02		
=====							
	FUND 0010	GENERAL FUND		TOTAL:	1,192.02		
=====							



03/16/2022 13:37
1540spri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET W-032222

P 3
apinvgl

YEAR/PERIOD: 2022/1 TO 2022/6	ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR TYP S	WARRANT	CHECK	DESCRIPTION
0600				PAYROLL FUND			
0600	214100			MS STATE RETIREMENT			
	002313	MS STATE RETIREMENT 2-25-2022	0	2022 5 DIR P	518,063.51 W-032222	57006	FEBRUARY 2022 PAYRO
				ACCOUNT TOTAL	518,063.51		
0600	214300			EMPLOYEE MEDICAL INSURANCE			
	031228	UNITEDHEALTHCARE INC 649142696369	0	2022 5 DIR P	297,117.26 W-032222	57007	MARCH 2022-MEDICAL
				ACCOUNT TOTAL	297,117.26		
0600	214900			DEFERRED COMPENSATION			
	002311	EMPOWER RETIREMENT 976743100	0	2022 5 DIR P	6,134.72 W-032222	57008	FEB. 23, 2022 PAYRO
	002311	EMPOWER RETIREMENT 978777938	0	2022 6 DIR P	9,578.22 W-032222	57013	MARCH 4, 2022 PAYRO
					15,712.94		
				ACCOUNT TOTAL	15,712.94		
0600	215101			CAF-PRETAX MEDICAL			
	022644	CORPORATE PLANNING 3-2-2022	0	2022 6 DIR P	6,462.71 W-032222	57010	MARCH 4, 2022 FSA/D
				ACCOUNT TOTAL	6,462.71		
0600	215102			DENTAL INSURANCE PREMS			
	031228	UNITEDHEALTHCARE INC 649142696369	0	2022 5 DIR P	15,233.38 W-032222	57007	MARCH 2022-MEDICAL
				ACCOUNT TOTAL	15,233.38		
0600	215105			VISION			
	031228	UNITEDHEALTHCARE INC 649142696369	0	2022 5 DIR P	3,640.48 W-032222	57007	MARCH 2022-MEDICAL
				ACCOUNT TOTAL	3,640.48		
				ORG 0600 TOTAL	856,230.28		
=====							
FUND 0600 PAYROLL FUND					TOTAL:	856,230.28	
=====							

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03/16/2022 13:38
1540spri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET U-032222

P 1
apinv gla

YEAR/PERIOD: 2022/1 TO 2022/6		ACCOUNT/VENDOR		INVOICE	PO	YEAR/PR TYP S		WARRANT	CHECK	DESCRIPTION
0400										
0400		130700								
		002879	LIFESTYLE HOME LLC	40365	0	2022	6 INV A	125.00	U-032222	
		002879	LIFESTYLE HOME LLC	40367	0	2022	6 INV A	125.00	U-032222	
		002879	LIFESTYLE HOME LLC	40372	0	2022	6 INV A	110.36	U-032222	
								360.36		
		006536	EDWARDS STEFANI	40357	0	2022	6 INV A	98.36	U-032222	
		012774	ADAMS HOMES	40348	0	2022	6 INV A	90.84	U-032222	
		012774	ADAMS HOMES	40350	0	2022	6 INV A	95.72	U-032222	
		012774	ADAMS HOMES	40351	0	2022	6 INV A	76.20	U-032222	
		012774	ADAMS HOMES	40352	0	2022	6 INV A	95.72	U-032222	
		012774	ADAMS HOMES	40353	0	2022	6 INV A	95.72	U-032222	
		012774	ADAMS HOMES	40354	0	2022	6 INV A	95.72	U-032222	
		012774	ADAMS HOMES	40359	0	2022	6 INV A	95.72	U-032222	
		012774	ADAMS HOMES	40360	0	2022	6 INV A	95.72	U-032222	
		012774	ADAMS HOMES	40361	0	2022	6 INV A	95.72	U-032222	
		012774	ADAMS HOMES	40362	0	2022	6 INV A	95.72	U-032222	
								932.80		
		021080	REGENCY HOME BUILDER	40358	0	2022	6 INV A	105.48	U-032222	
		021080	REGENCY HOME BUILDER	40364	0	2022	6 INV A	95.72	U-032222	
		021080	REGENCY HOME BUILDER	40368	0	2022	6 INV A	81.08	U-032222	
		021080	REGENCY HOME BUILDER	40370	0	2022	6 INV A	85.96	U-032222	
		021080	REGENCY HOME BUILDER	40371	0	2022	6 INV A	110.36	U-032222	
								478.60		
		022840	ROBERTS TAWANDA	40404	0	2022	6 INV A	98.36	U-032222	
		023124	JSS HOMES LLC	40375	0	2022	6 INV A	126.46	U-032222	
		023544	GLOBAL LEADER HOMES	40369	0	2022	6 INV A	115.24	U-032222	
		025118	MOSBY CHRISTOPHER	40400	0	2022	6 INV A	98.36	U-032222	
		026680	SKY LAKE CONSTRUCTIO	40377	0	2022	6 INV A	95.72	U-032222	
		026680	SKY LAKE CONSTRUCTIO	40378	0	2022	6 INV A	110.36	U-032222	
		026680	SKY LAKE CONSTRUCTIO	40383	0	2022	6 INV A	95.72	U-032222	
		026680	SKY LAKE CONSTRUCTIO	40384	0	2022	6 INV A	110.36	U-032222	
		026680	SKY LAKE CONSTRUCTIO	40385	0	2022	6 INV A	110.36	U-032222	
		026680	SKY LAKE CONSTRUCTIO	40386	0	2022	6 INV A	100.60	U-032222	
		026680	SKY LAKE CONSTRUCTIO	40387	0	2022	6 INV A	110.36	U-032222	
		026680	SKY LAKE CONSTRUCTIO	40388	0	2022	6 INV A	95.72	U-032222	
		026680	SKY LAKE CONSTRUCTIO	40389	0	2022	6 INV A	110.36	U-032222	
		026680	SKY LAKE CONSTRUCTIO	40390	0	2022	6 INV A	110.36	U-032222	
		026680	SKY LAKE CONSTRUCTIO	40392	0	2022	6 INV A	95.72	U-032222	
		026680	SKY LAKE CONSTRUCTIO	40393	0	2022	6 INV A	110.36	U-032222	
		026680	SKY LAKE CONSTRUCTIO	40397	0	2022	6 INV A	125.00	U-032222	



03/16/2022 13:38
1540spri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET U-032222

P 3
apinvgl

YEAR/PERIOD: 2022/1 TO 2022/6 ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR TYP S	WARRANT	CHECK	DESCRIPTION
035323 DUEBNER CHRIS	40328	0	2022 6 INV A	38.15 U-032222		
035324 DAVIS O C	40329	0	2022 6 INV A	71.72 U-032222		
035325 PINKHAM PAULETTE	40330	0	2022 6 INV A	15.80 U-032222		
035326 LANE JOHNNY C	40331	0	2022 6 INV A	20.72 U-032222		
035327 SMITH TYSON & JANINE	40332	0	2022 6 INV A	88.60 U-032222		
035328 GALE SHELBY	40333	0	2022 6 INV A	98.36 U-032222		
035329 PERRY WESLEY	40334	0	2022 6 INV A	88.60 U-032222		
035330 CRADDOCK MARGARET	40335	0	2022 6 INV A	98.36 U-032222		
035331 CLARK RICK B	40336	0	2022 6 INV A	98.36 U-032222		
035332 ISBELL LYNN	40337	0	2022 6 INV A	3.36 U-032222		
035333 SANDERS ALEXANDRIA	40338	0	2022 6 INV A	61.96 U-032222		
035334 PHILLIPS MATHIAS	40339	0	2022 6 INV A	110.36 U-032222		
035335 PEREZ & NEIKKO SELEN	40340	0	2022 6 INV A	98.36 U-032222		
035336 SPAIN TOMEKA	40342	0	2022 6 INV A	95.72 U-032222		
035337 ASSELT VAN	40343	0	2022 6 INV A	98.36 U-032222		
035338 TAYLOR ASHLEY	40344	0	2022 6 INV A	98.36 U-032222		
035339 KABCHI PADOU	40345	0	2022 6 INV A	98.36 U-032222		
035340 JOYNER CHARLIE	40346	0	2022 6 INV A	40.20 U-032222		
035341 MOORE CARLAS M JR	40347	0	2022 6 INV A	69.08 U-032222		
035342 WYLIE TAWANDA	40349	0	2022 6 INV A	57.08 U-032222		
035343 STAFFORD EMILY	40355	0	2022 6 INV A	45.08 U-032222		
035344 TATE SOPHIA	40356	0	2022 6 INV A	51.80 U-032222		
035345 DRUMMER FREDRICKA	40363	0	2022 6 INV A	35.32 U-032222		
035346 ROSE KENYA	40366	0	2022 6 INV A	45.08 U-032222		
035347 HOGAN DEANNA N	40373	0	2022 6 INV A	95.72 U-032222		
035348 FRUITT LAUREN & JONE	40374	0	2022 6 INV A	17.40 U-032222		



03/16/2022 13:38
1540spri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET U-032222

P 5
apinvgl

YEAR/PERIOD: 2022/1 TO 2022/6						
ACCOUNT/VENDOR	INVOICE	PO	YEAR/PR TYP S	WARRANT	CHECK	DESCRIPTION
0450			SANITATION FUND			
0450	130700		ACCOUNTS RECEIVABLE			
035320 ROBERSON FRANCES-GAR 40325		0	2022 6 INV A	12.00	U-032222	
			ACCOUNT TOTAL	12.00		
			ORG 0450 TOTAL	12.00		
=====						
FUND 0450 SANITATION FUND				TOTAL:	12.00	
=====						

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The City of Southaven Docket Recap

March 22, 2022

Special Docket

General Fund	-
Fire	-
Ems	-
Public Works	-
Parks	-
Facilities Management	-
Tourist & Convention Payroll Fund	17,051.48
SPECIAL DOCKET TOTAL	17,051.48

*Note: Life Insurance Company of North America (Cigna)

03/16/2022 13:35
1540spri

CITY OF SOUTHAVEN
FY 2022 CLAIMS DOCKET S-032222



P 1
apinvgl

YEAR/PERIOD: 2022/1 TO 2022/6

ACCOUNT/VENDOR

INVOICE

PO

YEAR/PR TYP S

WARRANT

CHECK

DESCRIPTION

0600

PAYROLL FUND

0600

216108

VOLUNTARY LIFE INSURANCE

022642 LIFE INSURANCE COMPA FEB2022-LIFE

0

2022 6 DIR P

17,051.48 S-032222

57009 EMPLOYEE LIFE INSUR

ACCOUNT TOTAL

17,051.48

ORG 0600

TOTAL

17,051.48

FUND 0600 PAYROLL FUND

TOTAL:

17,051.48

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