

City of Southaven

Office of Planning and Development Design Review Staff Report



Date of Hearing:	June 30, 2025
Public Hearing Body:	Planning Commission
Applicant:	Bradrock Investment 4376 Hwy 305 Hernando, MS 38632
Total Acreage:	5.224 acres
Existing Zone:	Planned Unit Development
Location of Design Review Application	West side of Getwell Road, south of College Road
Comprehensive Plan Designation:	Commercial/office
Staff Comments: The applicant is requesting design review approval for a pet resort and emergency animal hospital on the west side of Getwell Road, south of College Road. The following design criteria were submitted: <u>Building Elevations:</u> The proposed buildings reflect the established design of the existing Precious Paws office. Both structures incorporate a neutral color palette featuring Ledge Plus stacked stone and a gray-tan brick. The stacked stone is used along the wainscot areas and decorative columns, while the brick covers the majority of the building façades. The roofs are designed with a residential-style pitch and finished with architectural shingles to maintain a house-like appearance. Exposed red cedar timber accents are featured at building entrances and exterior exit doors, adding a decorative element. Cedar horizontal siding is used beneath the covered entry canopies to highlight the main entrances. Dark bronze standing seam metal awnings are installed over windows, supported by exposed timber brackets. The windows are residential in style, with dark bronze framing and no panes. Brick headers are included above each window to enhance the façade's visual appeal. Mechanical screen walls are also incorporated, featuring stacked stone along the lower wainscot section and wood-tone louvered siding above for a cohesive, attractive finish.	

Landscaping:

The applicant is showing a mixture of materials for the landscaping on site to include:

PLANT MATERIALS LIST						
Botanical Name	Common Name	Quantity	Min. Height	Min. Caliper	Spread	Notes
TREES						
ACER RUBRUM 'OCTOBER GLORY'	'OCTOBER GLORY' RED MAPLE	4	10-12'	2.5-3"		WELL-BRNCHD.; STRAIGHT
CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD	2		2"		WELL-BRNCHD.; STRAIGHT
ILEX CORNUTA 'WILLOWLEAF'	WILLOWLEAF HOLLY	24	36"		30"	FULL TO GND.; UNIFORM SHAPE
ILEX OPACA 'MARY NELL'	'MARY NELL' HOLLY	5	5-6'		2.5-3'	FULL TO GND.; UNIFORM SHAPE
ILEX x 'NELLIE R. STEVENS'	'NELLIE R. STEVENS' HOLLY	2	5-6'		2-3'	FULL TO GND.; UNIFORM SHAPE
JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	1	8-10'		3-4'	FULL TO GND.; UNIFORM, STRAIGHT
JUNIPERUS VIRGINIANA 'TAYLOR'	TAYLOR JUNIPER	2	5-6'			FULL TO GND
LAGERSTROEMIA INDICA 'HARDY LAVENDER'	'HARDY LAVENDER' CRAPEMYRTLE	5	8-10'		4-5'	3-TR. MIN., WELL-BRNCHD.
LAGERSTROEMIA INDICA x FAURIEI 'NATCHEZ'	'NATCHEZ' CRAPEMYRTLE	7	8-10'		4-5'	3-TR. MIN., WELL-BRNCHD.
MAGNOLIA x LOEBNERI 'DR MERRILL'	'DR MERRILL' STAR MAGNOLIA	5	8-10'	1.5"	2.5-3'	WELL-BRNCHD.; FULL
MAGNOLIA GRANDIFLORA 'LITTLE GEM'	'LITTLE GEM' MAGNOLIA	6	5-6'		2-3'	FULL TO GND.; WELL-BRNCHD
MAGNOLIA VIRGINIANA	SWEETBAY	6	8-10"		3.5-4"	3-TR. MIN., WELL-BRNCHD.; FULL
NYSSA SYLVATICA 'AFTERBURNER'	AFTERBURNER BLACKGUM	2	8-10'	2.5"		WELL-BRNCHD.; FULL
QUERCUS PHELLOS	WILLOW OAK	6	10-12'	3"		WELL-BRNCHD.; STRAIGHT
QUERCUS SHUMARDII	SHUMARD OAK	4		3"		WELL-BRNCHD.; STRAIGHT
TAXODIUM DISTICHUM	BALDCYPRESS	1	10-12'	3"		WELL-BRNCHD.; STRAIGHT, FULL
ULMUS PARVIFOLIA	LACEBARK ELM	3	8-10'	2.5"		WELL-BRNCHD.; STRAIGHT
SHRUBS						
ABELIA x CHINENSIS 'ROSE CREEK'	ROSE CREEK ABELIA	22	12"		18"	3-GAL
AGARISTA POPULIFOLIA	FLORIDA LEUCOTHOE	10				3-GAL
DISTYLIIUM x 'CINNAMON GIRL'	CINNAMON GIRL DISTYLIIUM	42				3-GAL
EUONYMUS ALATUS	BURNING BUSH	1	30"		30"	3-GAL
ILEX CORNUTA 'BURFORDII NANA'	DWARF BURFORD HOLLY	10	24-28"		20-24"	3-GAL
ILEX CORNUTA 'CARISSA'	CARISSA HOLLY	56	15"		21"	3-GAL
ILEX CRENATA 'SOFT TOUCH'	'SOFT TOUCH' HOLLY	40			18"	3-GAL
ILEX VOMITORIA 'NANA'	DWARF YAUPON HOLLY	72	12"		18"	3-GAL
JUNIPERUS CHINENSIS 'NICK'S COMPACT'	'NICK'S COMPACT' JUNIPER	24			24"	3-GAL
NANDINA DOMESTICA 'GULF STREAM'	'GULF STREAM' NANDINA	6	15"		15"	3-GAL
PRUNUS LAUROCERASUS 'OTTO LUYKEN'	'OTTO LUYKEN' LAUREL	2	36"		36"	3-GAL
RHODODENDRON INDICA	'GEORGE TABOR' AZALEA	7	30"			3-GAL
RHODODENDRON x FASHION	'FASHION' AZALEA	10	30"			3-GAL
ROSA 'KNOCKOUT'	SHRUB ROSE	15	24"		24"	3-GAL
SPIRAEA x BUMALDA 'ANTHONY WATERER'	'ANTHONY WATERER' SPIRAEA	7	18"		24"	3-GAL
GRASSES						
MISCANTHUS SINENSIS 'MORNING LIGHT'	'MORNING LT.' JAP. SILVER GRASS	5				#5 CONTAINER
MISCANTHUS SINENSIS 'ZEBRINUS'	ZEBRA GRASS	3	18"		24"	3-GAL
PENNISETUM ALOPECUROIDES 'HAEMELN'	DWARF FOUNTAIN GRASS	12	15"		18"	3-GAL
PERENNIALS						
HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	130				1-GAL
HOSTA 'PATRIOT'	'PATRIOT' HOSTA	20				#3 CONTAINER
GROUND COVER						
LIRIOPE MUSCARI 'BIG BLUE'	'BIG BLUE' LIRIOPE	304				4" POTS
LIRIOPE MUSCARI 'VARIEGATA'	VARIEGATED LIRIOPE	200				4" pot, 12" OC
OTHER						
CYNODON DACTYLON 'TIFWAY 419'	'TIFWAY 419' HYBRID BERMUDA SOD					

Pet Resort:

The landscape design along Getwell Road features a staggered planting of Abelia and Carissa Holly shrubs, complemented in front by clusters of ornamental crape myrtles showcasing purple and white blooms. On the north end of the pet resort building—between it and the adjacent State Farm property—the plan includes ornamental groupings of Little Gem Magnolias and Natchez crape myrtles, along with a single Willow Oak and one Redbud tree.

Interior medians within the campus are planted with Shumard Oaks—one per median—surrounded by sod. At each end of the pet resort parking lot, October Glory Maples provide seasonal color. The front façade is enhanced with low-growing ornamentals and colorful

plantings, creating a welcoming and vibrant entryway. The rear of the site is screened using Lacebark Elms and Compact Junipers to ensure visual separation from neighboring areas.

Emergency Hospital:

Along Cherry Tree Drive, the applicant has preserved a number of existing mature trees within a wide buffer on the west side of the drive. Enhancements include the addition of a single October Glory Maple and a monument sign surrounded by seasonal plantings.

Along the existing western fence line, a dense planting of evergreen species—Willowleaf Holly and Sweetbay Magnolia—has been proposed to provide additional screening for the adjacent residential properties. These are complemented by the existing six-foot sight-proof fence.

Three sides of the emergency hospital building incorporate a similar mix of ornamental plantings used at the pet resort, helping to create a cohesive design and an attractive streetscape from all viewing angles. A few ornamental trees are also positioned at the rear of the building to enhance open areas. The dumpster enclosure, located between the two buildings, will be screened using building-compatible materials along with a tight planting of Burford Holly, Mary Nell Holly, and Zebra Grass for additional visual buffering.

The dog park portion of the site preserves existing larger trees and is meant to be used in a mostly natural state.

Lighting

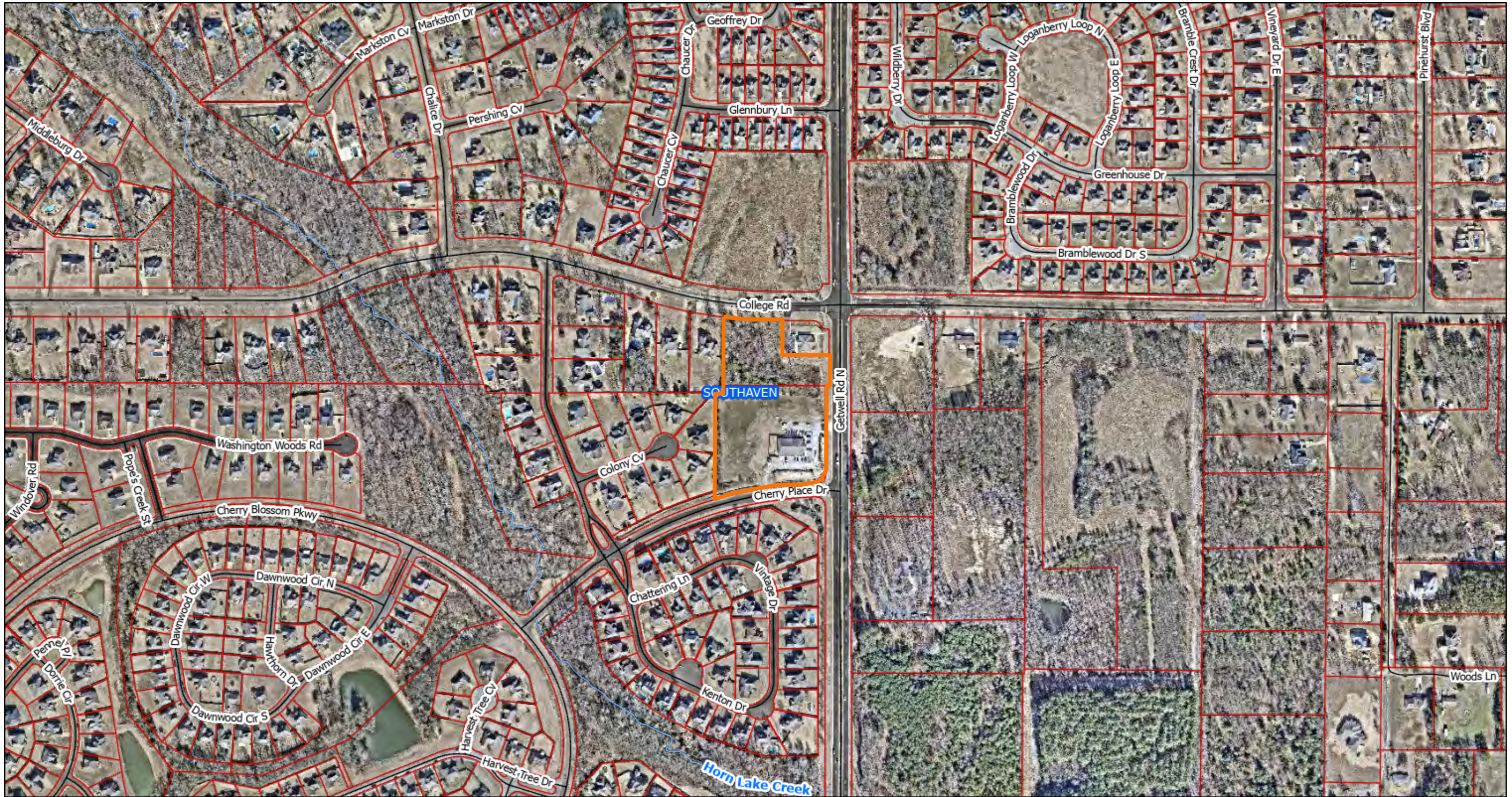
The lighting proposed meets the decorative lighting specs for new commercial development. There are several specs provided, all of which use the black decorative poles; however, the wattage differs depending on the area.

Staff Recommendations:

Staff has been working with the applicant for some time regarding this site. Both buildings incorporate the elements of the already approved Precious Paws office, which is a very attractive building. The landscape is well designed with a good mixture of materials and proper sizing. The lighting is incorporated well and meets the requirements for ornamental streetscape design.

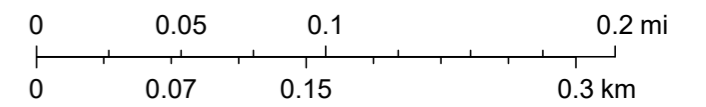
Staff has no comments and recommends approval as submitted.

ArcGIS Web Map



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02 - Cherry Place Dr. Entrance Perspective



3949 Getwell Rd. Development

**GETWELL PET EMERGENCY
& CRITICAL CARE CENTER**
DESIGN REVIEW SUBMISSION

June 30th, 2025 - City of Southaven, Mississippi
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Floor Plan GROSS SQUARE FOOTAGE: 5,409 SF
SCALE: 1/16" = 1'-0"

03 - Concept Floor Plan

LEGEND

1 ENTRY VESTIBULE	10 SERVICE RM.	19 X-RAY
2 LOBBY/WAITING	11 EXTERIOR MECHANICAL & SCREENING	20 EXAM/VISITATION
3 WOMB/FS ADA RESTROOM	12 VETERINARIAN OFFICE	21 EXAM/VISITATION
4 MB/FS ADA RESTROOM	13 ON-CALL SLEEPING QUARTERS	22 PRIVATE RM.
5 PRIVATE RM.	14 PRIVATE RESTROOM	23 PRIVATE RM.
6 ISOLATION RM.	15 O2 STORAGE	24 PRIVATE RM.
7 LAB/PHARMACY	16 SCRUB AREA	25 TREATMENT RM.
8 STAFF BREAK RM.	17 LAUNDRY	
9 UNISEX RESTROOM	18 SURGERY	



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STONE MASONRY CLASSIC SERIES STYLE - LEDGE PLUS BY MOUNTAIN STONE AS BASIS OF DESIGN



BRICK MASONRY PINE RIDGE - KING - HERITAGE BY ACME BRICK AS BASIS OF DESIGN



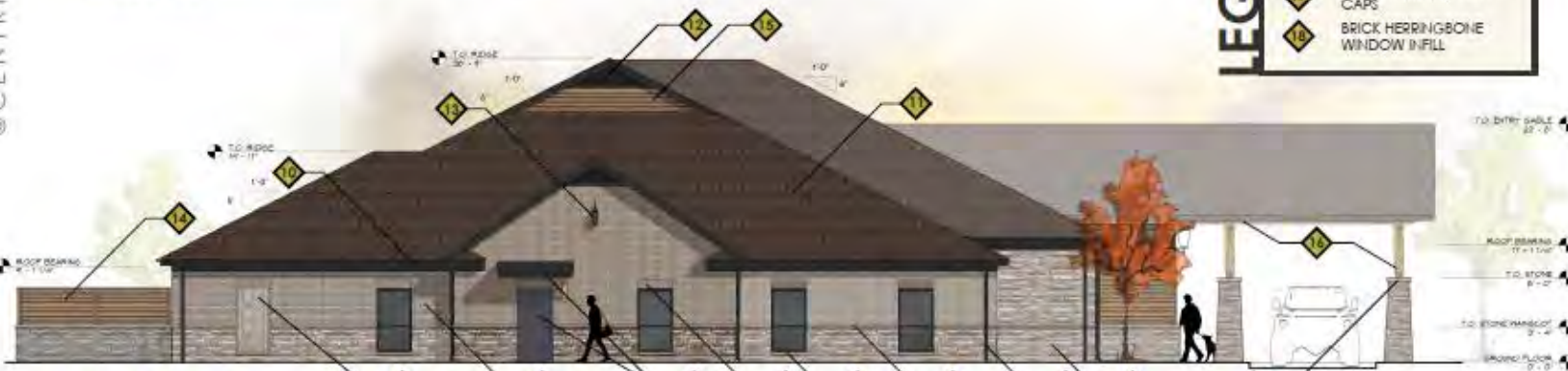
LAP SIDING WOOD CEDAR BEVEL SIDING - STAINED & SEALED



COMPOSITE FASCIA/SOFFT VENTED SMOOTH - PRIMED FOR PAINT BY JAMES HARDIE AS BASIS OF DESIGN



South "Front" Elevation
SCALE 3/16" = 1'-0"



West "Side" Elevation
SCALE 3/16" = 1'-0"

LEGEND

*ALL THROUGH ROOF VENTING SHALL BE LOCATED ON THE REAR OF THE BUILDING

- 1 COVERED ENTRANCE
- 2 EMPLOYEE ENTRANCE
- 3 ENTRY VESTIBULE
- 4 BRICK MASONRY VENEER
- 5 BRICK MASONRY WAINSCOT
- 6 BRICK MASONRY SILL
- 7 BRICK MASONRY HEADER
- 8 STONE MASONRY VENEER
- 9 PREFINISHED MTL. DOWNSPOUT - COLOR TO MATCH EXISTING FACILITY
- 10 COMPOSITE FASCIA & TRIM - PAINT TO MATCH EXISTING FACILITY
- 11 ASPHALT ROOF SHINGLES
- 12 PREFINISHED MTL. GABLE VENT
- 13 WALL SOUNCE - SEE PHOTOMETRICS FOR SPEC'S
- 14 MECHANICAL SCREEN - LOUVERED SIDING OVER STONE WAINSCOT
- 15 LAP SIDING - STAINED & SEALED
- 16 TIMBER FRAMING - STAINED & SEALED
- 17 CAST STONE COLUMN CAPS
- 18 BRICK HERRINGBONE WINDOW INFILL



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04 - Architectural Elevations + Materials



STANDING SEAM METAL ROOFING
SNAP-CLAD METAL ROOFING
PANELS BY PAC-CLAD
COLOR: DARK BRONZE
AS BASIS OF DESIGN



DOOR & WINDOW ALUMINUM FINISH
COLOR: ANODIZED DARK BRONZE
AS BASIS OF DESIGN



EXPOSED TIMBER FRAMING
STAINED & SEALED WESTERN RED
CEDAR COLUMNS, BEAMS &
TRUSS MEMBERS



ROOF SHINGLES
TRUDEFINITION DURATION STORM
BY OWENS CORNING AS BASIS
OF DESIGN



North "Rear" Elevation
SCALE: 3/16" = 1'-0"



East "Side" Elevation
SCALE: 3/16" = 1'-0"

LEGEND

*ALL THROUGH ROOF VENTING SHALL BE LOCATED ON THE REAR OF THE BUILDING

- 1 COVERED ENTRANCE
- 2 EMPLOYEE ENTRANCE
- 3 ENTRY VESTIBULE
- 4 BRICK MASONRY VENEER
- 5 BRICK MASONRY WAISCOOT
- 6 BRICK MASONRY SILL
- 7 BRICK MASONRY HEADER
- 8 STONE MASONRY VENEER
- 9 PREFINISHED MTL DOWNSPOUT - COLOR TO MATCH EXISTING FACILITY
- 10 COMPOSITE FASCIA & TRIM - PAINT TO MATCH EXISTING FACILITY
- 11 ASPHALT ROOF SHINGLES
- 12 PREFINISHED MTL GABLE VENT
- 13 WALL SCONCE - SEE PHOTOMETRICS FOR SPECS
- 14 MECHANICAL SCREEN - LOUVERED SIDING OVER STONE WAISCOOT
- 15 LAP SIDING - STAINED & SEALED
- 16 TIMBER FRAMING - STAINED & SEALED
- 17 CAST STONE COLUMN CAPS
- 18 BRICK HERRINGBONE WINDOW INFILL



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05 - Architectural Elevations + Materials

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06 - Getwell Pet Resort Entrance Perspective



3949 Getwell Rd. Development

GETWELL PET RESORT

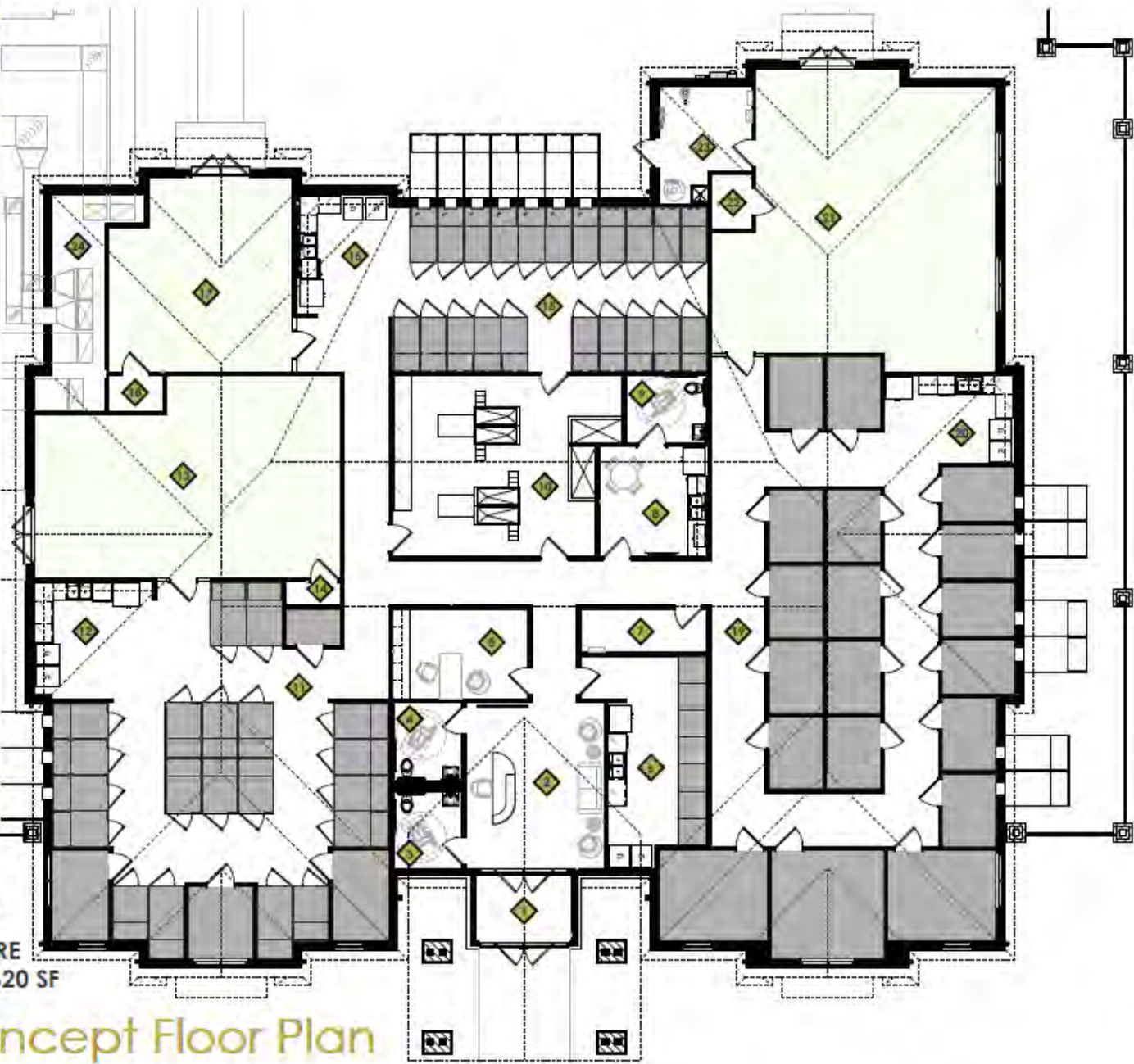
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LEGEND

- ◆ ENTRY VESTIBULE
- ◆ LOBBY/WAITING
- ◆ WOMEN'S ADA RESTROOM
- ◆ MEN'S ADA RESTROOM
- ◆ OFFICE
- ◆ CAT SUITES
- ◆ STORAGE
- ◆ STAFF BREAK RM.
- ◆ UNISEX RESTROOM
- ◆ GROOMING
- ◆ MEDIUM DOG BOARDING
- ◆ FOOD, CLEAN-UP & LAUNDRY
- ◆ MEDIUM INDOOR FREE-PLAY AREA
- ◆ STORAGE
- ◆ SMALL DOG BOARDING
- ◆ FOOD, CLEAN-UP & LAUNDRY
- ◆ SMALL INDOOR FREE-PLAY AREA
- ◆ STORAGE
- ◆ LARGE DOG BOARDING
- ◆ FOOD, CLEAN-UP & LAUNDRY
- ◆ LARGE INDOOR FREE-PLAY AREA
- ◆ STORAGE
- ◆ RISER RM.
- ◆ MECHANICAL CHASE



Floor Plan
 SCALE: 1/16" = 1'-0"
GROSS SQUARE FOOTAGE: 9,620 SF

07 - Concept Floor Plan



3949 Getwell Rd. Development
GETWELL PET RESORT
 DESIGN REVIEW SUBMISSION
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 Office of Planning & Development Planning Commission Public Hearing

LEGEND

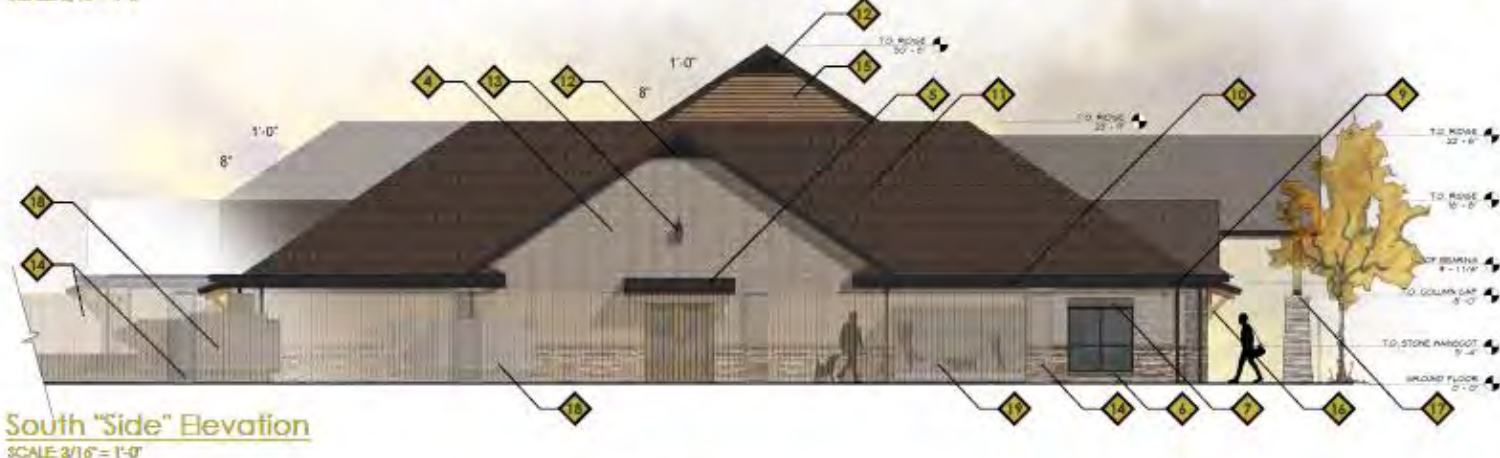
*ALL THROUGH ROOF VENTING SHALL BE LOCATED ON THE REAR OF THE BUILDING

1 COVERED ENTRANCE	6 BRICK MASONRY SILL	11 ASPHALT ROOF SHINGLES	16 TIMBER FRAMING - STAINED & SEALED
2 ADA PARKING - SEE SITE PLAN	7 BRICK MASONRY HEADER	12 PREFINISHED METAL GABLE VENT	17 CAST STONE COLUMN CAPS
3 ENTRY VESTIBULE	8 STONE MASONRY VENEER	13 WALL SCONCE - SEE PHOTOMETRICS	18 MECHANICAL UNITS BEHIND FENCING
4 BRICK MASONRY VENEER	9 PREFINISHED METAL DOWNSPOUT	14 BRICK & WOOD PRIVACY FENCING - MATCH EXISTING	19 EXTERIOR DOG KENNEL BEHIND FENCING
5 COVERED ENTRANCE	10 COMPOSITE FASCIA & TRIM	15 LAP SIDING - STAINED & SEALED	20 UTILITY METERS BEHIND FENCING

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East "Front" Elevation
SCALE 3/16" = 1'-0"



South "Side" Elevation
SCALE 3/16" = 1'-0"

08 - Architectural Elevations



3949 Getwell Rd. Development
GETWELL PET RESORT
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LEGEND

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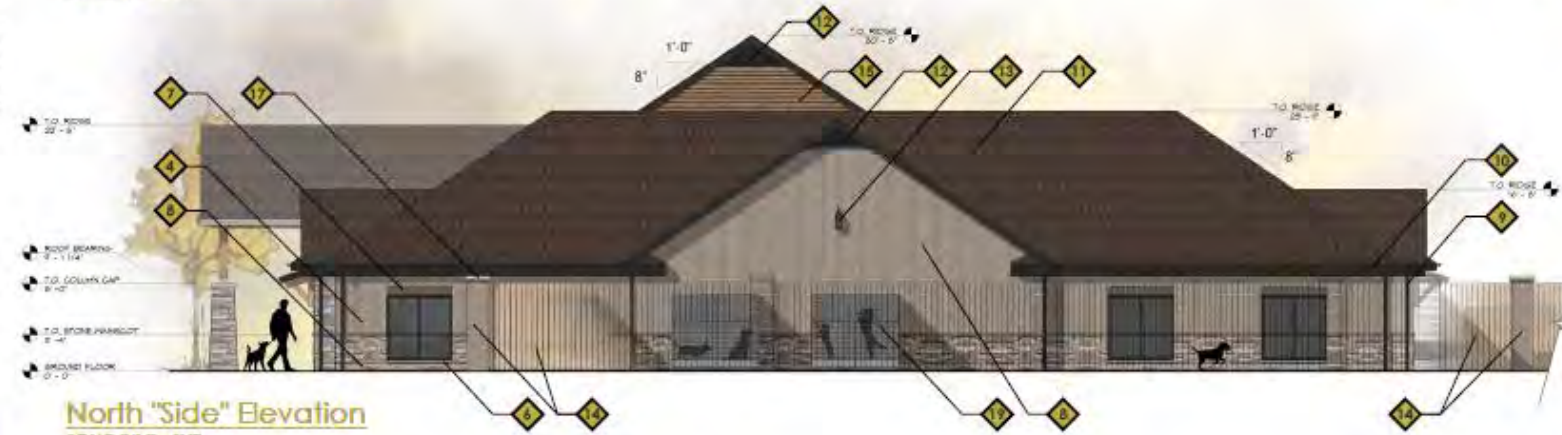
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|-------------------------------|-------------------------------|--------------------------------------------------|---------------------------------------|
| 1 COVERED ENTRANCE | 6 BRICK MASONRY SILL | 11 ASPHALT ROOF SHINGLES | 16 TIMBER FRAMING - STAINED & SEALED |
| 2 ADA PARKING - SEE SITE PLAN | 7 BRICK MASONRY HEADER | 12 PREFINISHED METAL GABLE VENT | 17 CAST STONE COLUMN CAPS |
| 3 ENTRY VESTIBULE | 8 STONE MASONRY VENEER | 13 WALL SCONCE - SEE PHOTOMETRICS | 18 MECHANICAL UNITS BEHIND FENCING |
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| 5 COVERED ENTRANCE | 10 COMPOSITE FASCIA & TRIM | 15 LAP SIDING - STAINED & SEALED | 20 UTILITY METERS BEHIND FENCING |

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West "Rear" Elevation

SCALE: 3/16" = 1'-0"



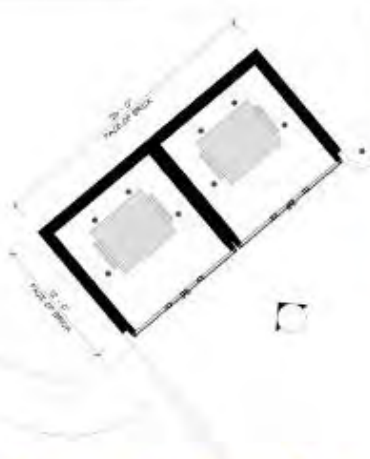
North "Side" Elevation

SCALE: 3/16" = 1'-0"

09 - Architectural Elevations



3949 Getwell Rd. Development
GETWELL PET RESORT
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Dumpster Enclosure Plan
SCALE: 3/16" = 1'-0"



Enclosure Elevation
SCALE: 3/16" = 1'-0"



Enclosure Perspective



Cherry Pl. Dr. Signage Perspective



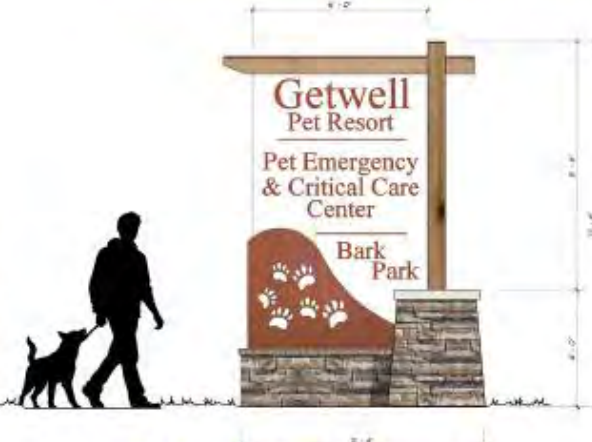
Getwell Rd. Signage Perspective



Cherry Pl. Dr. Sign Elevation
SCALE: 1/2" = 1'-0"



College Rd. Sign Elevation
SCALE: 1/2" = 1'-0"

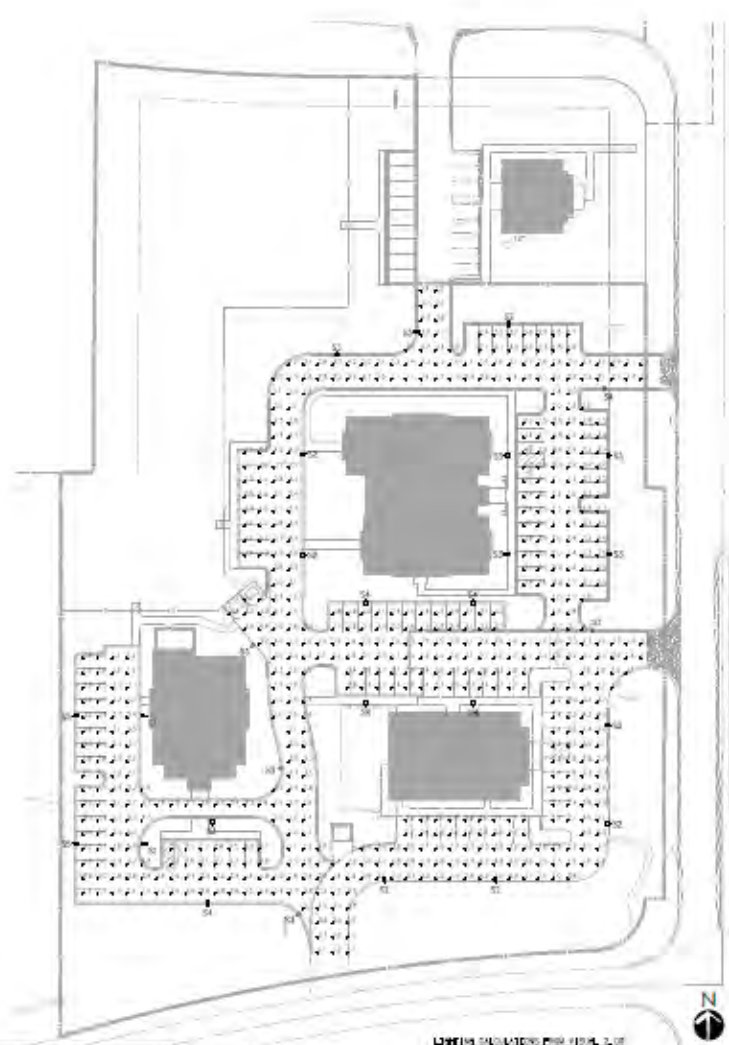
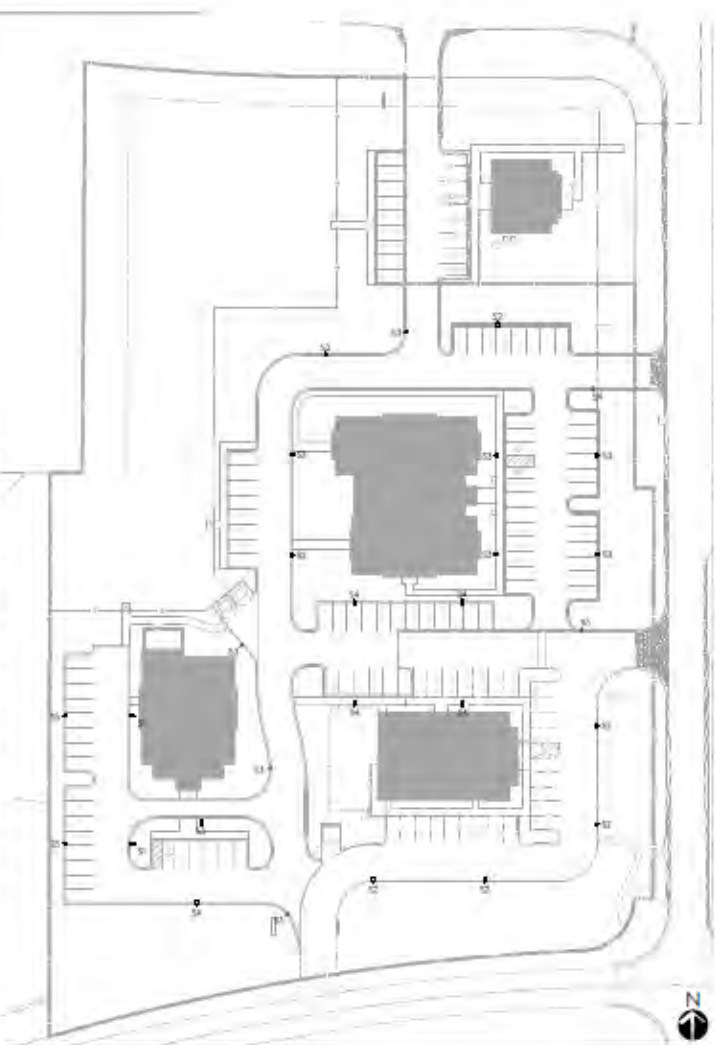


Getwell Rd. Sign Elevation
SCALE: 1/2" = 1'-0"

10 - Monument Signage + Dumpster Enclosure



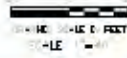
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GETWELL PET EMERGENCY & CRITICAL CARE CENTER & PET RESORT
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LUMINAIRE SCHEDULE

SUMMIT	TYPE	SIZE	MANUFACTURER	SPACING	WATT	WATT PER FOOT	SPACING	SPACING	SPACING	SPACING
01	▼	100 W	FOR PAVEMENT LIGHTING	15 FT	100 W	100 W / 15 FT = 6.67 W/FT	15 FT	15 FT	15 FT	15 FT
02	▼	100 W	FOR PAVEMENT LIGHTING	15 FT	100 W	100 W / 15 FT = 6.67 W/FT	15 FT	15 FT	15 FT	15 FT
03	▼	100 W	FOR PAVEMENT LIGHTING	15 FT	100 W	100 W / 15 FT = 6.67 W/FT	15 FT	15 FT	15 FT	15 FT
04	▼	100 W	FOR PAVEMENT LIGHTING	15 FT	100 W	100 W / 15 FT = 6.67 W/FT	15 FT	15 FT	15 FT	15 FT
05	▼	100 W	FOR PAVEMENT LIGHTING	15 FT	100 W	100 W / 15 FT = 6.67 W/FT	15 FT	15 FT	15 FT	15 FT

LANDSCAPING LIGHTING
 SITE LIGHTING - 100 W
 SITE LIGHTING - 100 W
 SITE LIGHTING - 100 W



12 - Site Lighting Plan + Photometrics



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City of Southaven
Office of Planning and Development
Subdivision Staff Report



Date of Hearing:	June 30, 2025
Public Hearing Body:	Planning Commission
Applicant:	SMJ Enterprise 8275 Tournament Drive Suite 100 Memphis, TN 38125 901-440-1372
Total Acreage:	26.85 acres
Existing Zone:	Planned Unit Development (Serenity Pointe)
Location of Subdivision Application	East Tchulahoma Road, south of May Blvd.
Comprehensive Plan Designation:	Medium density residential

Staff Comments:

The applicant is requesting subdivision approval for Serenity Pointe Phase 3, Areas C and D, located on the east side of Tchulahoma Road, south of May Boulevard. This phase includes a total of 52 lots, incorporating all 23 lots within Area D. These Area D lots will be accessed through a gated entrance and are subject to a minimum lot size of ½ acre and a minimum heated square footage requirement of 3,000 square feet.

In addition, a portion of Area C is included in this phase. This section is located within the interior of the overall subdivision. Per the PUD, lots in Area C require a minimum size of 10,000 square feet and a minimum heated square footage of 2,800 square feet.

This phase also includes the subdivision’s second entrance from Tchulahoma Road, along with the required 53 feet of right-of-way (ROW) dedication. A 15-foot landscape buffer is provided along the length of the Tchulahoma frontage, behind the ROW.

The layout features two cul-de-sacs and two streets that stub out into future phases of the subdivision. Seven designated common open space areas are shown on the plat, including:

- the landscape buffer along Tchulahoma Road,
- the landscaped entry median,
- a greenway access between Lots 91 and 92 that leads to the pond,
- an open space lot between Lots 83 and 94,

- and a large green space between Lots 84 and 96 that extends southward, connecting to the already platted pond area.

Staff Recommendations:

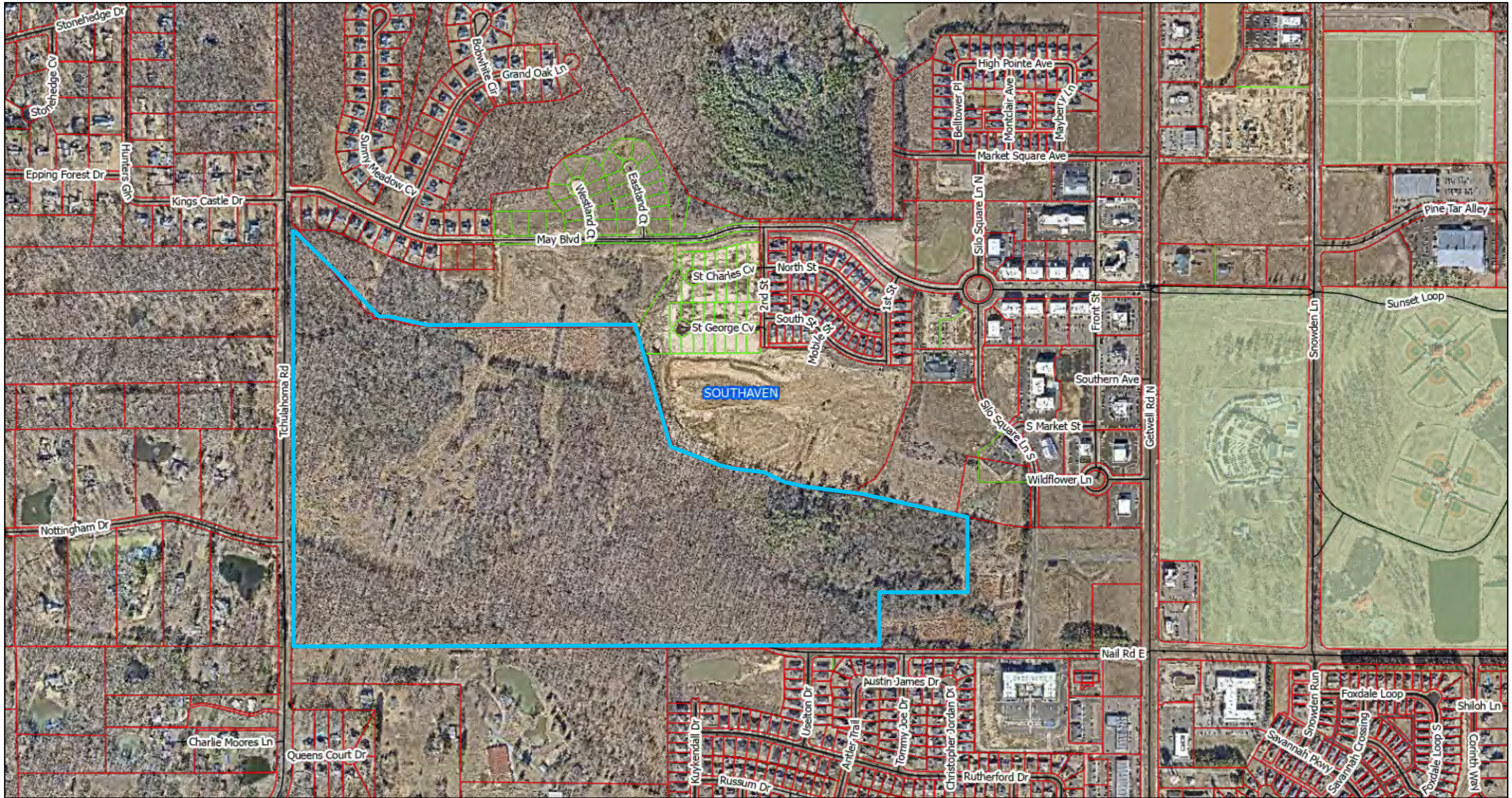
The proposed design is compliant with the requirements set forth in the PUD text approved in 2022. Staff’s only comment is regarding Tchulahoma Road. Tchulahoma Road improvements are the responsibility of the developer of the property. The applicant will need to work with the city engineering consultants to finalize the design needed for the entrance widening as well as the multi-use path extension. An agreement will have to be reached and the paperwork will need to be signed by both parties prior to platting.

All previous comments regarding internal street typical sections shall pertain to this phase as well. This will include the total ROW width and tree planting.

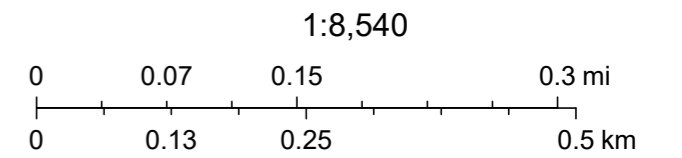
Staff would like the PUD text referenced on the plat since it details out the design criteria as well as the home sizes, etc. Staff would also like confirmation of the formation of the HOA prior to platting as well as a copy of the proposed covenants that can be distributed to the commission for review prior to commission signatures for platting.

Staff has no further comments and recommends approval pending compliance.

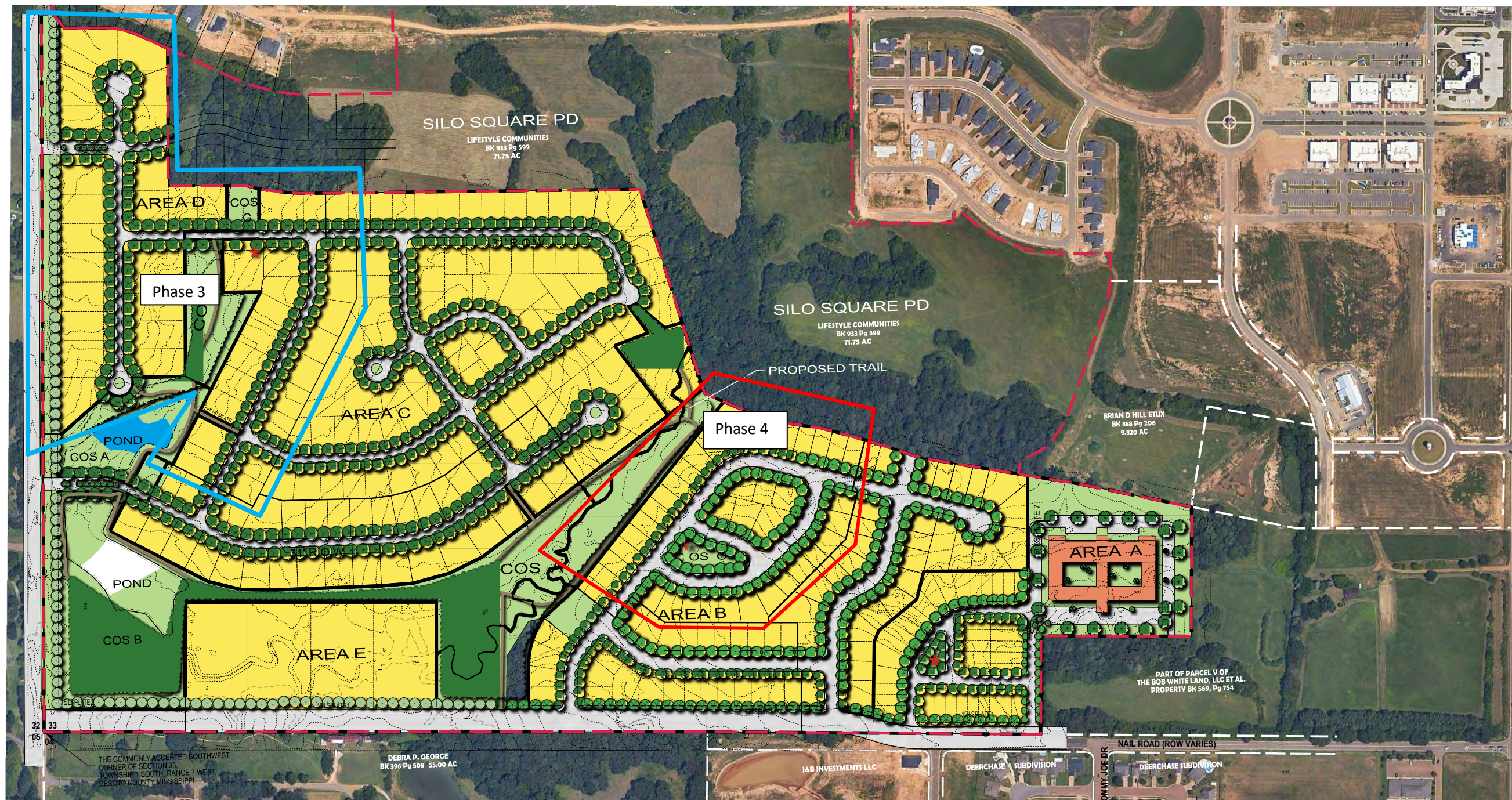
ArcGIS Web Map



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SERENITY POINTE PLANNED DEVELOPMENT



Plan Data

SITE GROSS ACREAGE: 145.54 ACRES - 6.96 ACRES DEDICATION = SITE NET ACREAGE 138.58 ACRES

RESIDENTIAL AREAS:

AREA A	ASSISTED LIVING	7.14 ACRES		
AREA A	TOWNHOUSE	7.10 ACRES	- 6.86 DU/AC	37 - 40x125' LOTS
AREA B	SINGLE FAMILY RESIDENTIAL	31.31 ACRES	- 3.47 DU/AC	98 - 50x125' LOTS
AREA C	SINGLE FAMILY GATED RESIDENTIAL	75.73 ACRES	- 2.87 DU/AC	127 - 80x125' LOTS
AREA D	SINGLE FAMILY GATED RESIDENTIAL	15.45 ACRES	- 0.82 DU/AC	23 - 1/2 ACRE LOTS
AREA E	SINGLE FAMILY RESIDENTIAL	9.66 ACRES	- 0.50 DU/AC	4 - 2 ACRE LOTS

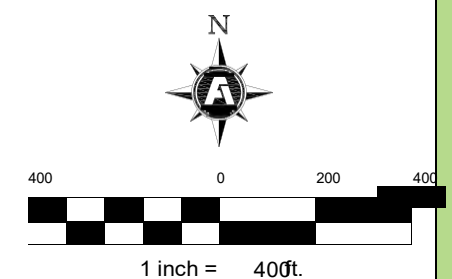
TOTAL RESIDENTIAL USES: 138.64 ACRES, 288 LOTS

NOTE: PLAN DATA CHART REFLECTS APPROVED MAXIMUM DENSITIES

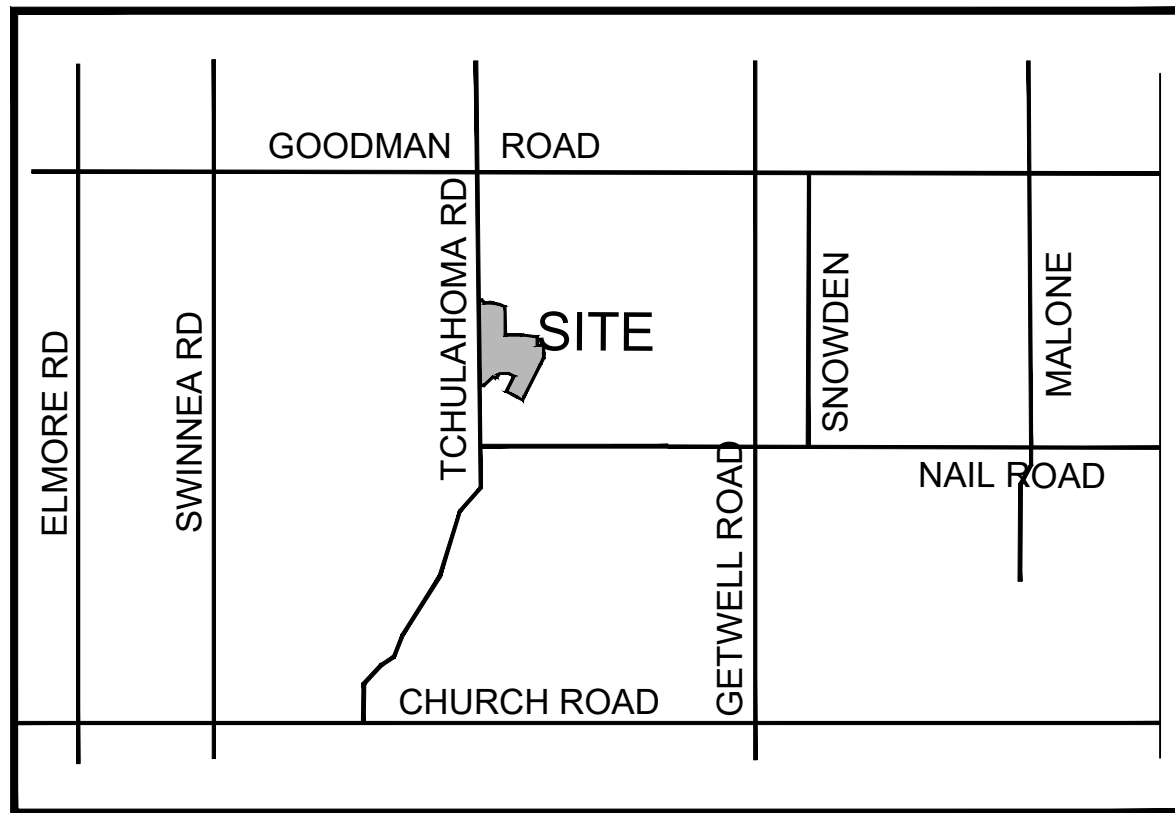
OPEN SPACE AREAS:

COS A:	3.06 ACRES	COS I:	0.01 ACRES
COS B:	11.87 ACRES	COS J:	1.99 ACRES
COS C:	0.07 ACRES	COS K:	0.15 ACRES
COS D:	0.01 ACRES	COS L:	0.34 ACRES
COS E:	0.04 ACRES	COS M:	0.07 ACRES
COS F:	0.03 ACRES	COS N:	2.57 ACRES
COS G:	0.42 ACRES	COS O:	0.73 ACRES
COS H:	0.05 ACRES		

TOTAL OPEN SPACE: 21.41 ACRES
(15.4% OF NET ACREAGE)

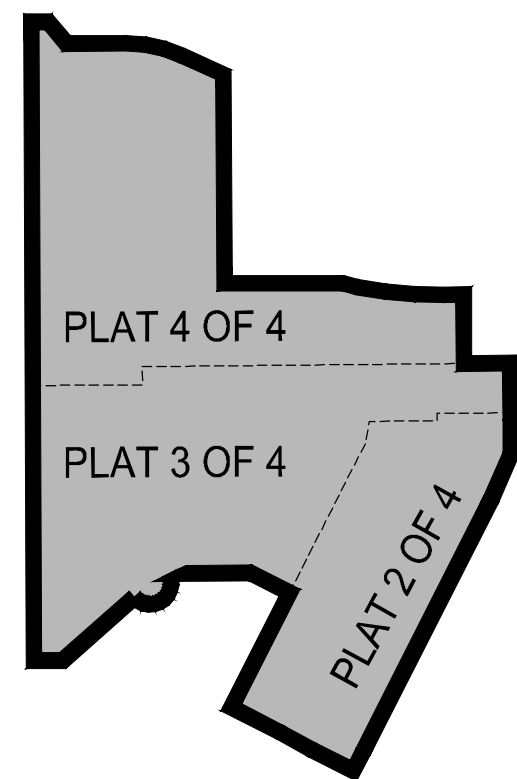


MASTER PLAN



VICINITY MAP

NTS



MATCHLINE KEY MAP

OWNER CERTIFICATE

WE, SMJ ENTERPRISE, LLC, OWNER OR AUTHORIZED REPRESENTATIVE OF THE OWNER OF THE PROPERTY, HEREBY ADOPT THIS AS MY PLAN OF DEVELOPMENT AND DEDICATE THE RIGHT-OF-WAY FOR THE ROADS AND UTILITY EASEMENTS AS SHOWN ON THE PLAT OF THE SUBDIVISION TO THE CITY OF SOUTHAVEN, MISSISSIPPI FOR PUBLIC USE FOREVER. WE CERTIFY THAT WE ARE THE OWNER IN FEE SIMPLE OF THE PROPERTY AND THAT NO TAXES HAVE BECOME DUE AND PAYABLE.

THIS THE _____ DAY OF _____, 20____.

BY:

SCOTT GILL, PARTNER _____ DATE _____

NOTARY'S CERTIFICATE

INCORPORATED IN THE STATE OF _____
COUNTY OF _____

PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED AUTHORITY IN AND FOR SAID COUNTY AND STATE ON THIS THE _____ DAY OF _____, 20____, WITHIN MY JURISDICTION, THE WITHIN NAMED SCOTT GILL, WHO ACKNOWLEDGED THAT HE IS PARTNER OF SMJ ENTERPRISE, LLC, AND THAT FOR AND ON BEHALF OF SAID OWNER, AND AS ITS ACT AND DEED, HE EXECUTED THE ABOVE AND FOREGOING INSTRUMENT, AFTER FIRST HAVING BEEN DULY AUTHORIZED BY SAID OWNER TO DO SO. GIVEN MY HAND AND OFFICIAL SEAL OF OFFICE THIS THE _____ DAY OF _____, 20____.

SIGNATURE NOTARY PUBLIC MY COMMISSION EXPIRES SEAL

SURVEYOR'S CERTIFICATE

THIS IS TO CERTIFY THAT I HAVE DRAWN THIS SUBDIVISION SHOWN HEREON AND THE PLAT OF SAME IS ACCURATELY DRAWN FROM INFORMATION FROM A GROUND SURVEY CONDUCTED BY ME.

PLS # DATE SEAL

ENGINEER'S CERTIFICATE

IT IS HEREBY CERTIFIED THAT THIS PLAT IS TRUE AND CORRECT, IS IN CONFORMANCE WITH THE DESIGN REQUIREMENTS OF THE ZONING ORDINANCE, THE SUBDIVISION REGULATIONS, AND THE SPECIFIC CONDITIONS IMPOSED ON THIS DEVELOPMENT, AND TAKES INTO ACCOUNT ALL APPLICABLE FEDERAL, STATE AND LOCAL BUILDING LAWS AND REGULATIONS.

BY: _____

MISSISSIPPI CERTIFICATE NO. _____

SOUTHAVEN PLANNING COMMISSION

APPROVED BY THE SOUTHAVEN PLANNING COMMISSION ON THIS THE _____ DAY OF _____, 20____.

ATTEST

CHAIRMAN

SOUTHAVEN MAYOR AND BOARD

APPROVED BY THE SOUTHAVEN MAYOR AND BOARD OF ALDERMAN ON THIS THE _____ DAY OF _____, 20____.

CITY CLERK

MAYOR

**STATE OF MISSISSIPPI
COUNTY OF DESOTO**

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON WAS FILED FOR RECORD IN MY OFFICE AT _____ O'CLOCK _____ M., ON THE _____ DAY OF _____, 20____ AND WAS IMMEDIATELY ENTERED UPON THE PROPER INDEXES AND DULY RECORDED IN PLAT BOOK _____, PAGE _____.

CHANCERY COURT CLERK

THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA PER FEMA INSURANCE RATE MAP NO. 28033C0079H
EFFECTIVE DATE 05/05/2014.
100 YR. FLOOD ELEV. 366

**FINAL PLAT
PHASE 3, AREAS C & D
SERENITY POINTE
PLANNED DEVELOPMENT
SECTION 33, TOWNSHIP 1 SOUTH, RANGE 7 WEST
SOUTHAVEN, MISSISSIPPI**

ZONING: PD (R-10)

SCALE: 1" = 60'

APRIL 2025

TOTAL AREA: 26.85 AC. ; TOTAL LOTS: 52 (45 RES. + 7 C.O.S.)

DEVELOPER:
SMJ ENTERPRISE, LLC
8275 TOURNAMENT DRIVE, SUITE 100
MEMPHIS, TN 38125

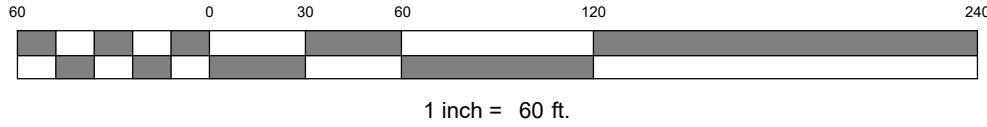
FISHER ARNOLD
ENGINEERS | ARCHITECTS | CONSULTANTS | PLANNERS

9180 Crestwyn Hills Drive | Memphis, Tennessee 38125-8538
907.748.1811 | Fax: 901.748-3115 | www.fisherarnold.com

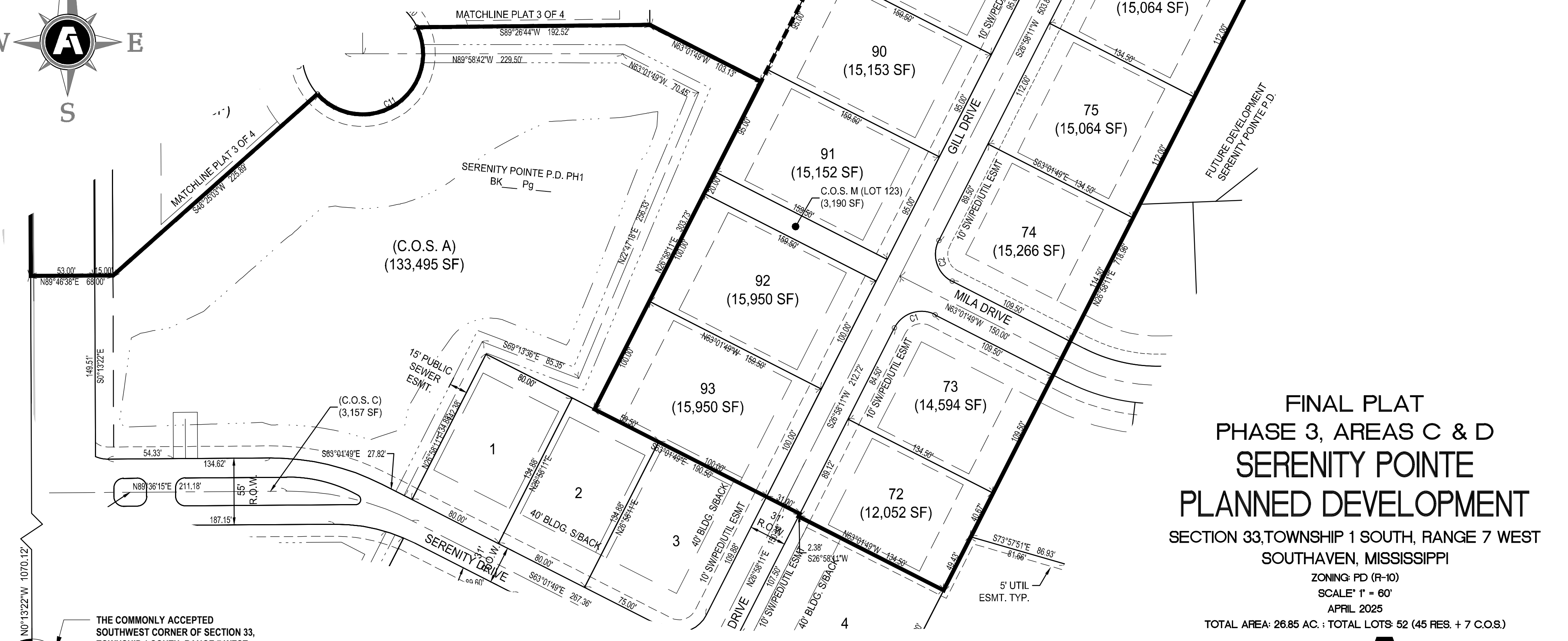
NOTES

- MINIMUM SETBACKS ARE AS FOLLOWS:
 - 25' MINIMUM FRONT YARD
 - 5' MINIMUM SIDE YARD
 - 25' MINIMUM REAR YARD
- A 5 FOOT WIDE UTILITY EASEMENT IS REQUIRED ALONG ALL REAR LOT LINES UNLESS OTHERWISE NOTED.
- IT IS THE RESPONSIBILITY OF THE BUILDER OF EACH LOT TO ENSURE THAT THE LOT IS SWALED AND GRADED PROPERLY TO DRAIN.
- WATER AND SEWER SERVICE WILL BE PROVIDED BY THE CITY OF SOUTHAVEN
- 1/2" IRON REBAR WITH CAP SET OF ALL REAR PROPERTY CORNERS AND WHERE NOTED (IP). CHISEL MARKS ARE MADE IN THE CURB AT THE EXTENDED PROPERTY LINE AND ARE FOR REFERENCE ONLY.
- THE PLATTED PROPERTY IS SUBJECT TO THOSE COVENANTS, RESTRICTIONS AND EASEMENTS AS SET FORTH IN DOCUMENT FILED OF RECORD IN BOOK ____, PAGE ____, IN THE OFFICE OF THE CHANCERY CLERK OF DESOTO COUNTY, MISSISSIPPI, TO WHICH DOCUMENT REFERENCE IS HEREBY MADE. ANY PROPERTY OWNER SHALL BE BOUND BY THE TERMS OF SAID DOCUMENT.

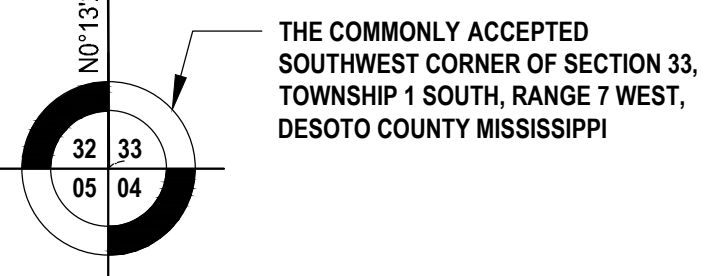
GRAPHIC SCALE
(IN FEET)



Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	39.27	25.00	90°00'00"	N71°58'11"E	35.36
C2	39.27	25.00	90°00'00"	N18°01'49"W	35.36
C3	51.77	215.50	13°45'49"	N20°05'17"E	51.64
C35	96.09	200.00	27°31'37"	N13°12'23"E	95.17



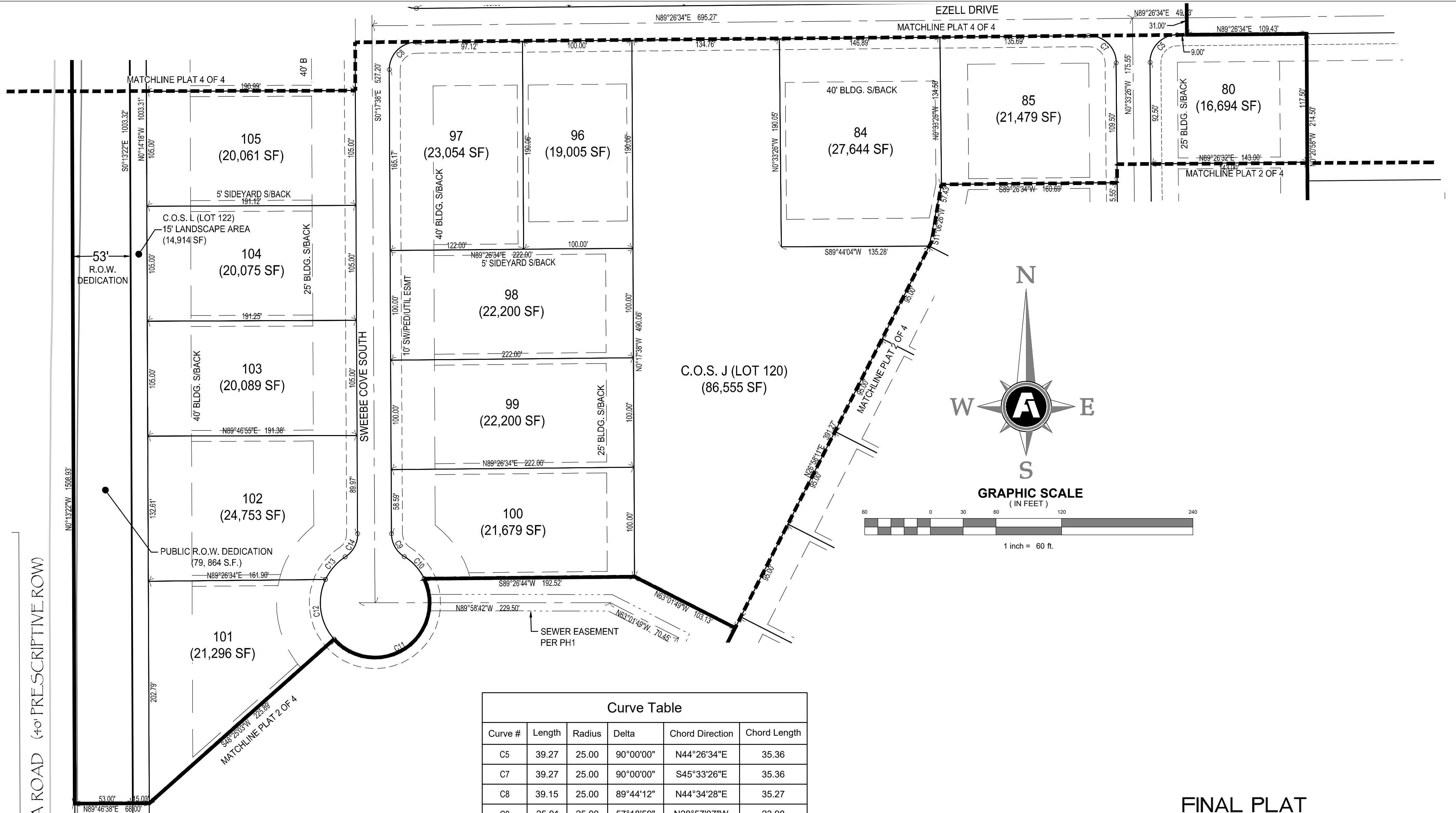
FINAL PLAT
PHASE 3, AREAS C & D
SERENITY POINTE
PLANNED DEVELOPMENT
 SECTION 33, TOWNSHIP 1 SOUTH, RANGE 7 WEST
 SOUTHAVEN, MISSISSIPPI
 ZONING: PD (R-10)
 SCALE: 1" = 60'
 APRIL 2025
 TOTAL AREA: 26.85 AC. ; TOTAL LOTS: 52 (45 RES. + 7 C.O.S.)



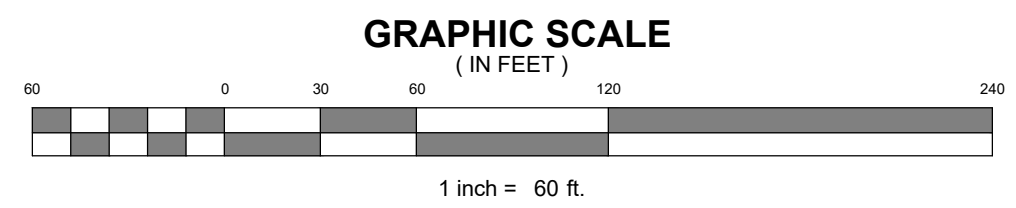
THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD
 AREA PER FEMA INSURANCE RATE MAP NO. 28033C0079H
 EFFECTIVE DATE 05/05/2014.
 100 YR. FLOOD ELEV. 366

DEVELOPER:
SMJ ENTERPRISE, LLC
 8275 TOURNAMENT DRIVE, SUITE 100
 MEMPHIS, TN 38125

FISHER ARNOLD
 ENGINEERS | ARCHITECTS | CONSULTANTS | PLANNERS
 9180 Crestwyn Hills Drive | Memphis, Tennessee 38125-8538
 907.748.1811 | Fax: 901.748-3115 | www.fisherarnold.com

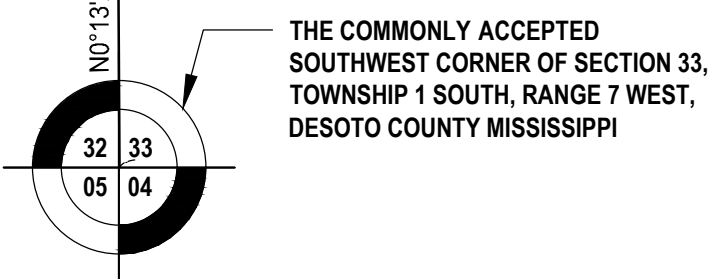


TCHULAHOMA ROAD (40' PRESCRIPTIVE ROW)



Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C5	39.27	25.00	90°00'00"	N44°26'34"E	35.36
C7	39.27	25.00	90°00'00"	S45°33'26"E	35.36
C8	39.15	25.00	89°44'12"	N44°34'28"E	35.27
C9	25.01	25.00	57°18'59"	N28°57'07"W	23.98
C10	27.41	50.10	31°21'02"	N41°55'04"W	27.07
C11	143.66	50.00	164°36'30"	S56°06'35"W	99.11
C12	58.24	50.00	66°44'23"	S8°12'46"E	55.00
C13	27.81	50.00	31°51'55"	S41°05'24"W	27.45
C14	25.01	25.00	57°18'59"	S28°21'52"W	23.98

FINAL PLAT
PHASE 3, AREAS C & D
SERENITY POINTE
PLANNED DEVELOPMENT
 SECTION 33, TOWNSHIP 1 SOUTH, RANGE 7 WEST
 SOUTHAVEN, MISSISSIPPI
 ZONING: PD (R-10)
 SCALE: 1" = 60'
 APRIL 2025
 TOTAL AREA: 26.85 AC.; TOTAL LOTS: 52 (45 RES. + 7 C.O.S.)



THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA PER FEMA INSURANCE RATE MAP NO. 28033C0079H EFFECTIVE DATE 05/05/2014. 100 YR. FLOOD ELEV. 366

DEVELOPER:
SMJ ENTERPRISE, LLC
 8275 TOURNAMENT DRIVE, SUITE 100
 MEMPHIS, TN 38125

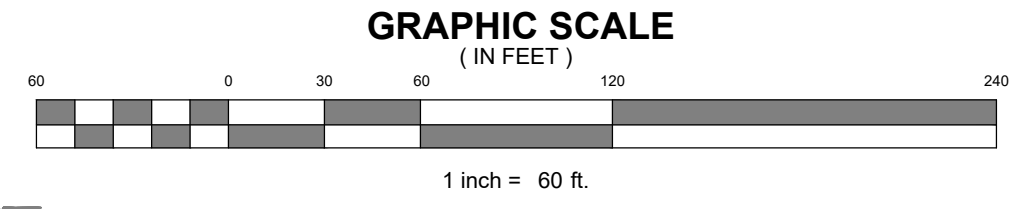
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FINAL PLAT
 PHASE 3, AREAS C & D
 SERENITY POINTE
 PLANNED DEVELOPMENT

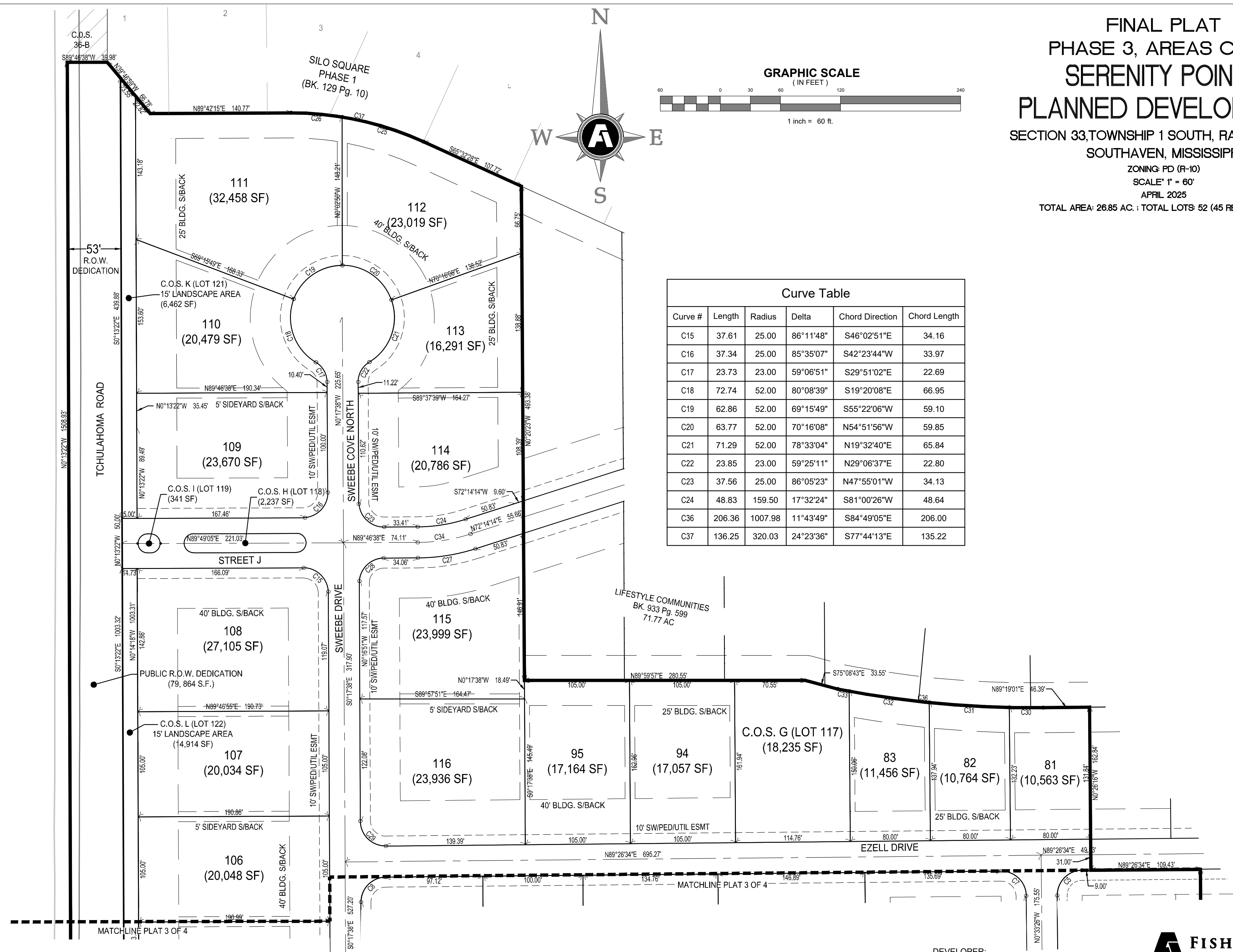
SECTION 33, TOWNSHIP 1 SOUTH, RANGE 7 WEST
 SOUTHAVEN, MISSISSIPPI

ZONING: PD (R-10)
 SCALE: 1" = 60'
 APRIL 2025

TOTAL AREA: 26.85 AC. ; TOTAL LOTS: 52 (45 RES. + 7 C.O.S.)



Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C15	37.61	25.00	86°11'48"	S46°02'51"E	34.16
C16	37.34	25.00	85°35'07"	S42°23'44"W	33.97
C17	23.73	23.00	59°06'51"	S29°51'02"E	22.69
C18	72.74	52.00	80°08'39"	S19°20'08"E	66.95
C19	62.86	52.00	69°15'49"	S55°22'06"W	59.10
C20	63.77	52.00	70°16'08"	N54°51'56"W	59.85
C21	71.29	52.00	78°33'04"	N19°32'40"E	65.84
C22	23.85	23.00	59°25'11"	N29°06'37"E	22.80
C23	37.56	25.00	86°05'23"	N47°55'01"W	34.13
C24	48.83	159.50	17°32'24"	S81°00'26"W	48.64
C36	206.36	1007.98	11°43'49"	S84°49'05"E	206.00
C37	136.25	320.03	24°23'36"	S77°44'13"E	135.22



THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD
 AREA PER FEMA INSURANCE RATE MAP NO. 28033C0079H
 EFFECTIVE DATE 05/05/2014.
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DEVELOPER:
SMJ ENTERPRISE, LLC
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 MEMPHIS, TN 38125

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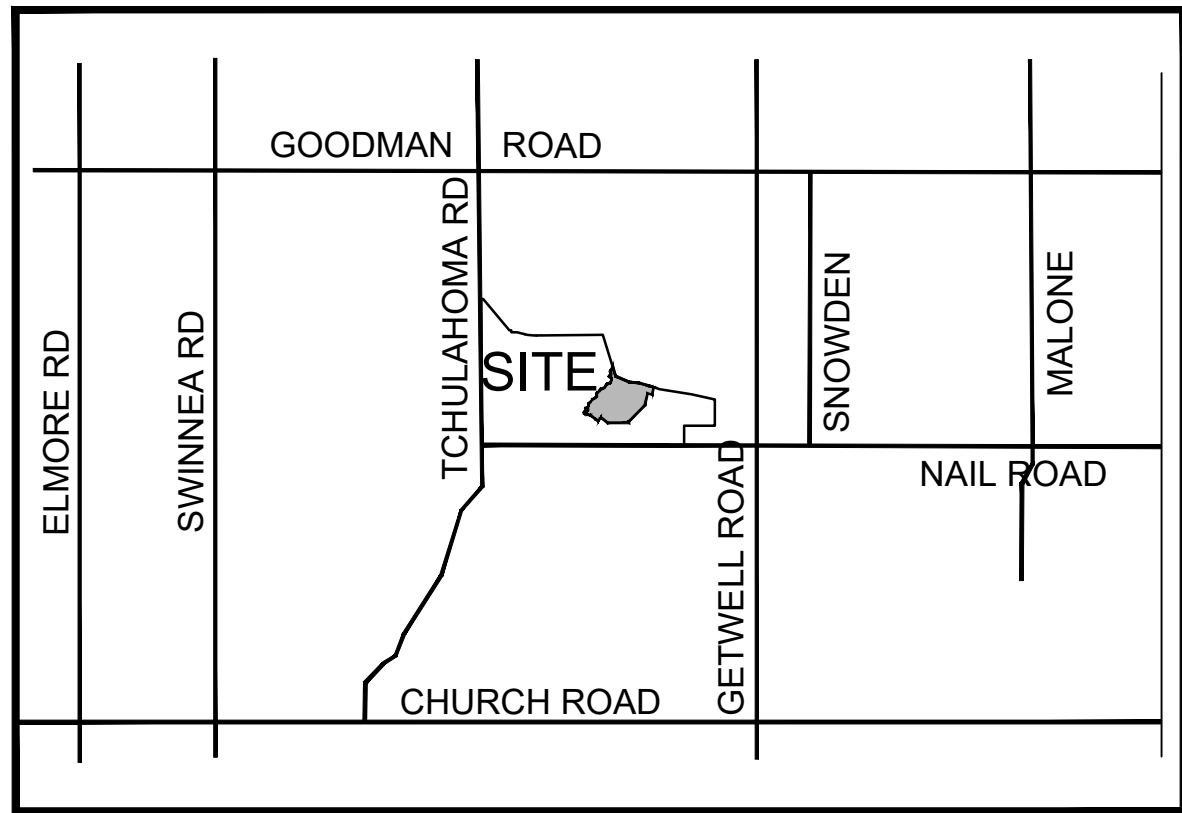
City of Southaven
Office of Planning and Development
Subdivision Staff Report



Date of Hearing:	June 30, 2025
Public Hearing Body:	Planning Commission
Applicant:	SMJ Enterprise 8275 Tournament Drive Suite 100 Memphis, TN 38125 901-440-1372
Total Acreage:	14.269 acres
Existing Zone:	Planned Unit Development (Serenity Pointe)
Location of Subdivision Application	North of Nail Road
Comprehensive Plan Designation:	Medium density residential
Staff Comments:	
<p>The applicant is requesting subdivision approval for Serenity Pointe Phase 4, Area B, located on the north side of Nail Road. This phase consists of 41 lots, each with a minimum lot size of 10,000 square feet and a minimum heated square footage of 2,200 square feet.</p> <p>This phase is situated within the interior of the previously approved and platted portion of Area B, which has direct access from Nail Road. It includes the continuation of previously stubbed-out streets from the initial section of Area B, ensuring internal connectivity.</p> <p>The plat identifies two common open space (COS) areas:</p> <ul style="list-style-type: none"> • The first is a large section of the greenbelt that runs between Areas B and C and includes a proposed trail for resident use. • The second COS is centrally located within the road network and features mail kiosks along with a proposed community pool for neighborhood amenities. 	
Staff Recommendations:	
<p>The proposed design is compliant with the requirements set forth in the PUD text approved in 2022.</p> <p>All previous comments regarding internal street typical sections shall pertain to this phase as well. This will include the total ROW width and tree planting.</p>	

Staff would like the PUD text referenced on the plat since it details out the design criteria as well as the home sizes, etc. Staff would also like confirmation of the formation of the HOA prior to platting as well as a copy of the proposed covenants that can be distributed to the commission for review prior to commission signatures for platting.

Staff has no further comments and recommends approval pending compliance.



VICINITY MAP

NTS

OWNER CERTIFICATE

WE, SMJ ENTERPRISE, LLC, OWNER OR AUTHORIZED REPRESENTATIVE OF THE OWNER OF THE PROPERTY, HEREBY ADOPT THIS AS MY PLAN OF DEVELOPMENT AND DEDICATE THE RIGHT-OF-WAY FOR THE ROADS AND UTILITY EASEMENTS AS SHOWN ON THE PLAT OF THE SUBDIVISION TO THE CITY OF SOUTHAVEN, MISSISSIPPI FOR PUBLIC USE FOREVER. WE CERTIFY THAT WE ARE THE OWNER IN FEE SIMPLE OF THE PROPERTY AND THAT NO TAXES HAVE BECOME DUE AND PAYABLE.

THIS THE ____ DAY OF _____, 20__.

BY:

SCOTT GILL, PARTNER _____ DATE _____

NOTARY'S CERTIFICATE

INCORPORATED IN THE STATE OF _____
 COUNTY OF _____

PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED AUTHORITY IN AND FOR SAID COUNTY AND STATE ON THIS THE ____ DAY OF _____, 20__, WITHIN MY JURISDICTION, THE WITHIN NAMED SCOTT GILL, WHO ACKNOWLEDGED THAT HE IS PARTNER OF SMJ ENTERPRISE, LLC, AND THAT FOR AND ON BEHALF OF SAID OWNER, AND AS ITS ACT AND DEED, HE EXECUTED THE ABOVE AND FOREGOING INSTRUMENT, AFTER FIRST HAVING BEEN DULY AUTHORIZED BY SAID OWNER TO DO SO. GIVEN MY HAND AND OFFICIAL SEAL OF OFFICE THIS THE ____ DAY OF _____, 20__.

 SIGNATURE NOTARY PUBLIC MY COMMISSION EXPIRES SEAL

SURVEYOR'S CERTIFICATE

THIS IS TO CERTIFY THAT I HAVE DRAWN THIS SUBDIVISION SHOWN HEREON AND THE PLAT OF SAME IS ACCURATELY DRAWN FROM INFORMATION FROM A GROUND SURVEY CONDUCTED BY ME.

 _____ PLS # _____ DATE _____ SEAL

ENGINEER'S CERTIFICATE

IT IS HEREBY CERTIFIED THAT THIS PLAT IS TRUE AND CORRECT, IS IN CONFORMANCE WITH THE DESIGN REQUIREMENTS OF THE ZONING ORDINANCE, THE SUBDIVISION REGULATIONS, AND THE SPECIFIC CONDITIONS IMPOSED ON THIS DEVELOPMENT, AND TAKES INTO ACCOUNT ALL APPLICABLE FEDERAL, STATE AND LOCAL BUILDING LAWS AND REGULATIONS.

BY: _____

MISSISSIPPI CERTIFICATE NO. _____

SOUTHAVEN PLANNING COMMISSION

APPROVED BY THE SOUTHAVEN PLANNING COMMISSION ON THIS THE ____ DAY OF _____, 20__.

ATTEST

 CHAIRMAN

SOUTHAVEN MAYOR AND BOARD

APPROVED BY THE SOUTHAVEN MAYOR AND BOARD OF ALDERMAN ON THIS THE ____ DAY OF _____, 20__.

 CITY CLERK

 MAYOR

**STATE OF MISSISSIPPI
 COUNTY OF DESOTO**

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON WAS FILED FOR RECORD IN MY OFFICE AT _____ O'CLOCK ____ M., ON THE ____ DAY OF _____, 20__ AND WAS IMMEDIATELY ENTERED UPON THE PROPER INDEXES AND DULY RECORDED IN PLAT BOOK _____, PAGE _____.

 CHANCERY COURT CLERK

THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA PER FEMA INSURANCE RATE MAP NO. 28033C0079H
 EFFECTIVE DATE 05/05/2014.
 100 YR. FLOOD ELEV. 366

**FINAL PLAT
 PHASE 4, AREA B
 SERENITY POINTE
 PLANNED DEVELOPMENT**
 SECTION 33, TOWNSHIP 1 SOUTH, RANGE 7 WEST
 SOUTHAVEN, MISSISSIPPI

ZONING: PD (R-10)
 SCALE: 1" = 60'
 FEBRUARY 2025

TOTAL AREA: 14.269 AC. ; TOTAL LOTS: 41 (39 RES. + 2 C.O.S.)

DEVELOPER:
SMJ ENTERPRISE, LLC
 8275 TOURNAMENT DRIVE, SUITE 100
 MEMPHIS, TN 38125

FISHER ARNOLD
 ENGINEERS | ARCHITECTS | CONSULTANTS | PLANNERS

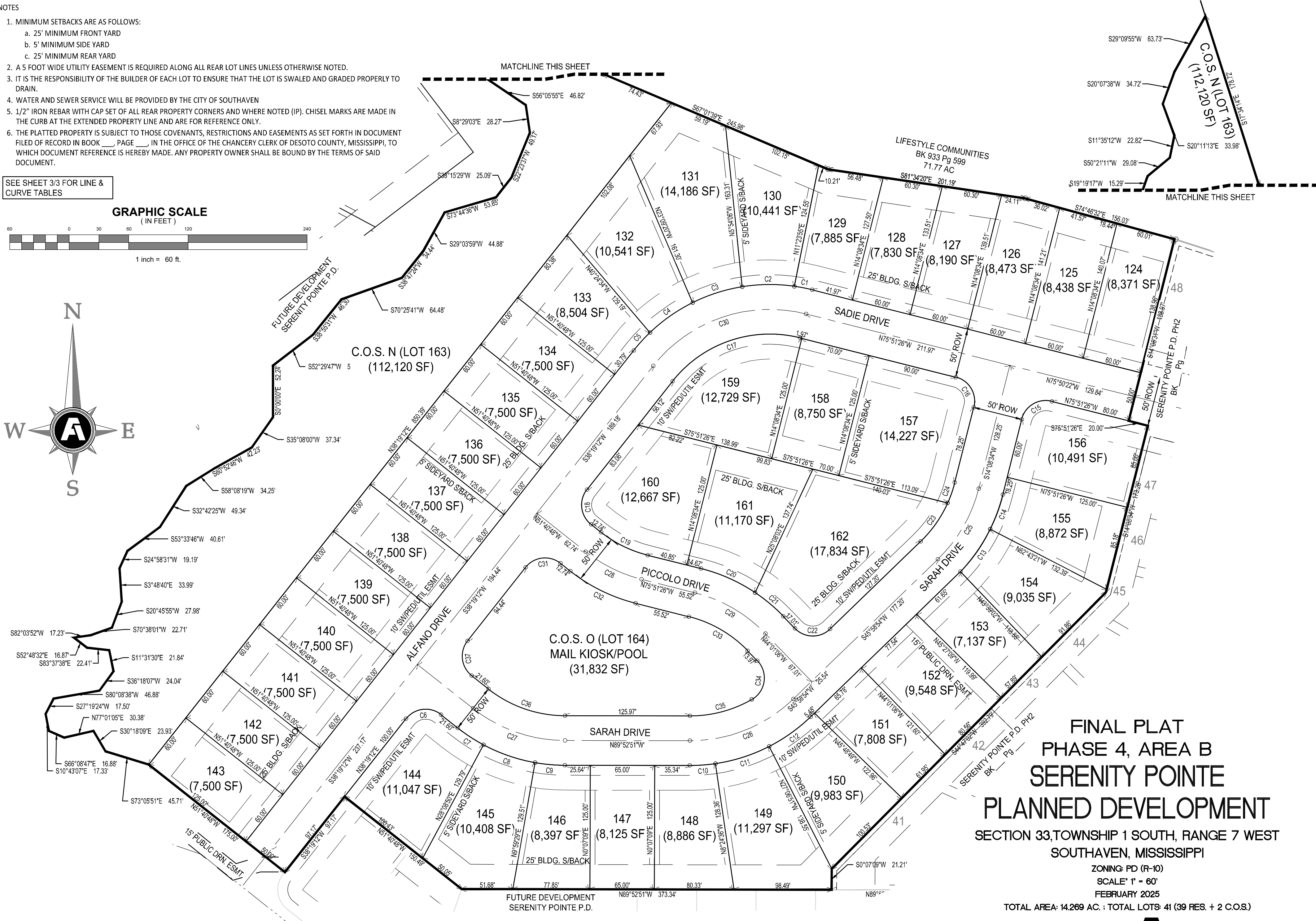
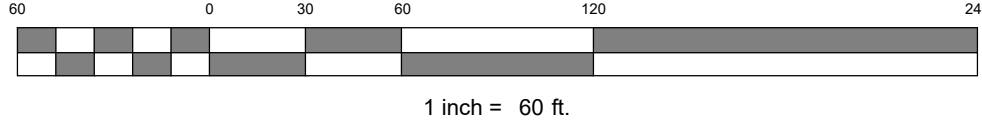
9180 Crestwyn Hills Drive | Memphis, Tennessee 38125-8538
 907.748.1811 | Fax: 901.748-3115 | www.fisherarnold.com

NOTES

1. MINIMUM SETBACKS ARE AS FOLLOWS:
 - a. 25' MINIMUM FRONT YARD
 - b. 5' MINIMUM SIDE YARD
 - c. 25' MINIMUM REAR YARD
2. A 5 FOOT WIDE UTILITY EASEMENT IS REQUIRED ALONG ALL REAR LOT LINES UNLESS OTHERWISE NOTED.
3. IT IS THE RESPONSIBILITY OF THE BUILDER OF EACH LOT TO ENSURE THAT THE LOT IS SWALED AND GRADED PROPERLY TO DRAIN.
4. WATER AND SEWER SERVICE WILL BE PROVIDED BY THE CITY OF SOUTHAVEN
5. 1/2" IRON REBAR WITH CAP SET OF ALL REAR PROPERTY CORNERS AND WHERE NOTED (IP). CHISEL MARKS ARE MADE IN THE CURB AT THE EXTENDED PROPERTY LINE AND ARE FOR REFERENCE ONLY.
6. THE PLATTED PROPERTY IS SUBJECT TO THOSE COVENANTS, RESTRICTIONS AND EASEMENTS AS SET FORTH IN DOCUMENT FILED OF RECORD IN BOOK _____ PAGE _____, IN THE OFFICE OF THE CHANCERY CLERK OF DESOTO COUNTY, MISSISSIPPI, TO WHICH DOCUMENT REFERENCE IS HEREBY MADE. ANY PROPERTY OWNER SHALL BE BOUND BY THE TERMS OF SAID DOCUMENT.

SEE SHEET 3/3 FOR LINE & CURVE TABLES

GRAPHIC SCALE
(IN FEET)



**FINAL PLAT
PHASE 4, AREA B
SERENITY POINT
PLANNED DEVELOPMENT**
SECTION 33, TOWNSHIP 1 SOUTH, RANGE 7 WEST
SOUTHAVEN, MISSISSIPPI

ZONING: PD (R-10)
SCALE: 1" = 60'
FEBRUARY 2025
TOTAL AREA: 14.269 AC. : TOTAL LOTS: 41 (39 RES. + 2 C.O.S.)

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DEVELOPER:
SMJ ENTERPRISE, LLC
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Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	18.39	175.00	6.02	N78° 52' 02"W	18.38
C2	52.84	175.00	17.30	S89° 28' 22"W	52.64
C3	52.70	175.00	17.25	S72° 11' 44"W	52.50
C4	52.70	175.00	17.25	S54° 56' 30"W	52.50
C5	24.42	175.00	7.99	S42° 19' 03"W	24.40
C6	39.27	25.00	90.00	N83° 19' 12"E	35.36
C7	31.07	175.00	10.17	S56° 45' 59"E	31.03
C8	55.45	175.00	18.16	S70° 55' 51"E	55.22
C9	30.15	175.00	9.87	S84° 56' 41"E	30.12
C10	26.05	175.00	8.53	N85° 51' 17"E	26.03
C11	57.13	175.00	18.70	N72° 14' 17"E	56.87
C12	51.63	175.00	16.90	N54° 26' 01"E	51.44
C13	52.46	157.31	19.11	N34° 52' 21"E	52.22
C14	37.13	161.96	13.13	N20° 13' 08"E	37.05
C15	39.27	25.00	90.00	N59° 08' 34"E	35.36

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C16	39.27	25.00	90.00	S30° 51' 26"E	35.36
C17	143.60	125.00	65.82	N71° 13' 53"E	135.84
C18	39.27	25.00	90.00	N6° 40' 48"W	35.36
C19	52.75	125.00	24.18	N63° 46' 07"W	52.36
C20	60.08	175.00	19.67	N66° 01' 22"W	59.78
C21	37.17	175.00	12.17	N50° 06' 12"W	37.10
C22	39.27	25.00	90.00	N89° 01' 06"W	35.36
C23	47.61	125.00	21.82	S35° 04' 17"W	47.32
C24	21.86	125.00	10.02	S19° 09' 07"W	21.83
C25	83.35	150.00	31.84	S30° 03' 44"W	82.29
C26	115.55	150.00	44.14	S68° 03' 01"W	112.72
C27	100.01	150.00	38.20	N70° 46' 50"W	98.17
C28	63.30	150.00	24.18	N63° 46' 07"W	62.83
C29	83.35	150.00	31.84	N59° 56' 16"W	82.29
C30	172.32	150.00	65.82	S71° 13' 53"W	163.00

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C31	39.27	25.00	90.00	N83° 19' 12"E	35.36
C32	73.85	175.00	24.18	S63° 46' 07"E	73.30
C33	69.46	125.00	31.84	S59° 56' 16"E	68.57
C34	45.45	25.00	104.16	S8° 03' 34"W	39.44
C35	65.41	125.00	29.98	S75° 07' 41"W	64.67
C36	83.34	125.00	38.20	N70° 46' 50"W	81.81
C37	39.27	25.00	90.00	N6° 40' 48"W	35.36

THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD
 AREA PER FEMA INSURANCE RATE MAP NO. 28033C0079H
 EFFECTIVE DATE 05/05/2014.
 100 YR. FLOOD ELEV. 366

FINAL PLAT
PHASE 4, AREA B
SERENITY POINTE
PLANNED DEVELOPMENT
 SECTION 33, TOWNSHIP 1 SOUTH, RANGE 7 WEST
 SOUTHAVEN, MISSISSIPPI

ZONING: PD (R-10)
 SCALE: 1" = 60'
 FEBRUARY 2025

TOTAL AREA: 14.269 AC. ; TOTAL LOTS: 41 (39 RES. + 2 C.O.S.)

DEVELOPER:
SMJ ENTERPRISE, LLC
 8275 TOURNAMENT DRIVE, SUITE 100
 MEMPHIS, TN 38125

A FISHER ARNOLD
 ENGINEERS | ARCHITECTS | CONSULTANTS | PLANNERS

9180 Crestwyn Hills Drive | Memphis, Tennessee 38125-8538
 907.748.1811 | Fax: 901.748-3115 | www.fisherarnold.com

City of Southaven
Office of Planning and Development
Subdivision Staff Report



Date of Hearing:	June 30, 2025
Public Hearing Body:	Planning Commission
Applicant:	Ashaif Properties LLC 6965 Fox Chase Drive Southaven, MS 38671 901-848-2151
Total Acreage:	2.468 acres
Existing Zone:	R-9
Location of Subdivision Application	South side of Greencliff Drive, east side of Greenbrook Pkwy.
Comprehensive Plan Designation:	Medium density residential

Staff Comments:

The applicant is requesting subdivision approval to revise the Southaven General Baptist Church Two Lot Subdivision on the south side of Greencliff Drive, east side of Greenbrook Pkwy. The current plat shows two lots on site with lot 1 encompassing 2.43 acres of property and the second lot with 0.22 acres. Lot 1 contains a church sanctuary and church gymnasium. Lot 2 encompasses 0.22 acres and contains a single-family residence which is used by the church. The applicant is requesting to further subdivide lot 1 into two lots with lot 1a containing 1.0709 acres and lot 1b having 1.179 acres. Lot 2 is proposed to remain the same. The already approved ingress/egress to the Centerbrook Subdivision is also shown on this plat which has been codified with the Chancery Clerks office. There is no required ROW dedication or improvements required or submitted.

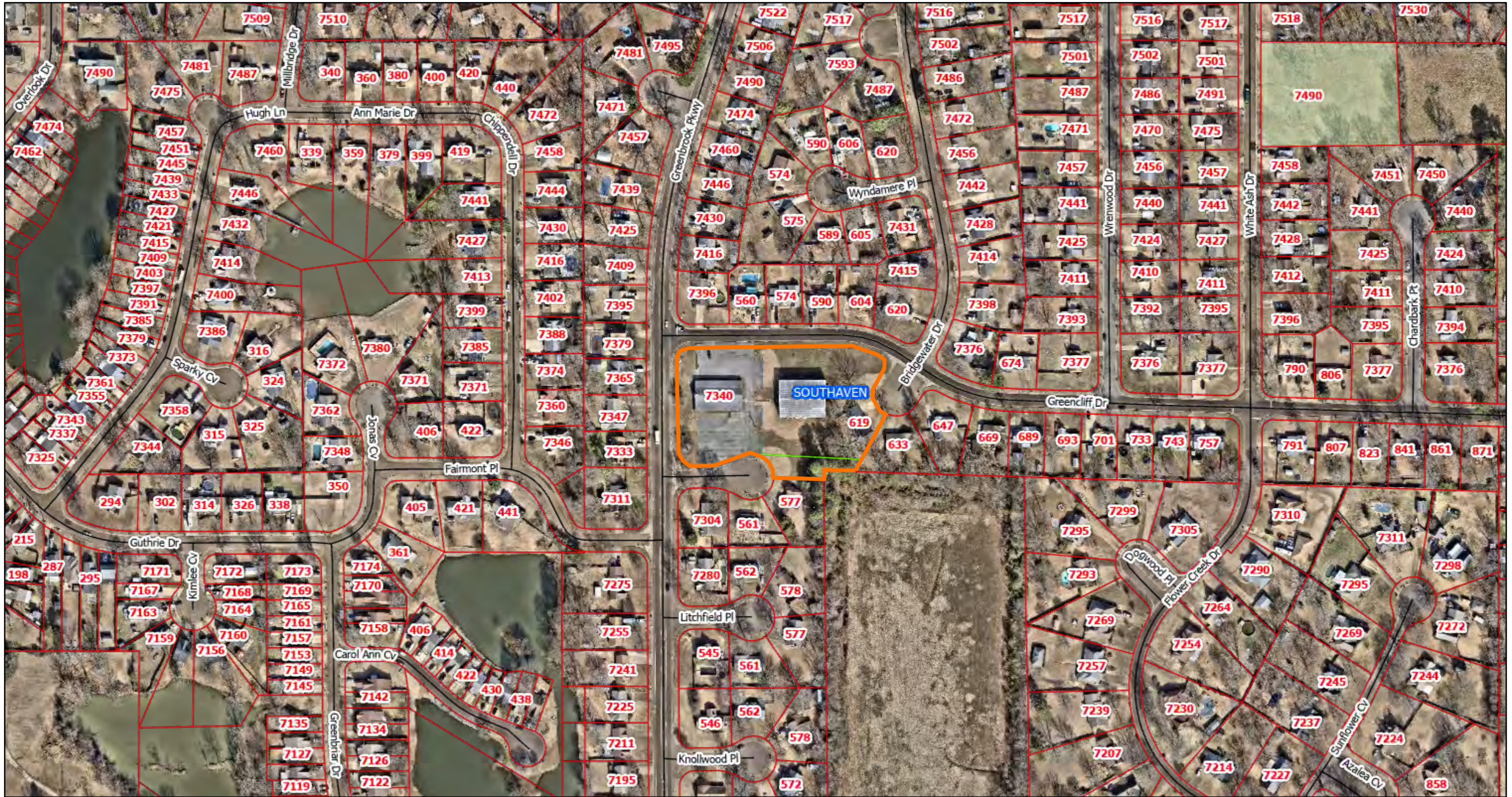
Staff Recommendations:

The site has no proposed use to staff’s knowledge. There is an existing church sanctuary and a gymnasium on site which is in a condemnable state; however, the owners have been working with staff to determine the highest and best use of the property and solutions to fix the buildings if possible. This subdivision proposal separates the church and gym onto different lots which will allow the usage to be individualized for repair and/or reuse.

The revision requirements set forth in the ordinance require that all adjacent property owners sign the proposed plat and/or provide notarized proper documentation per planning staff agreeing to the revisions.

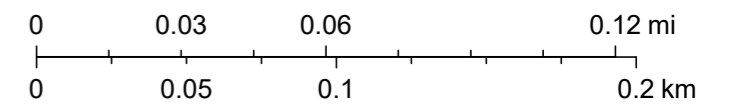
Staff has no further comments and recommends approval.

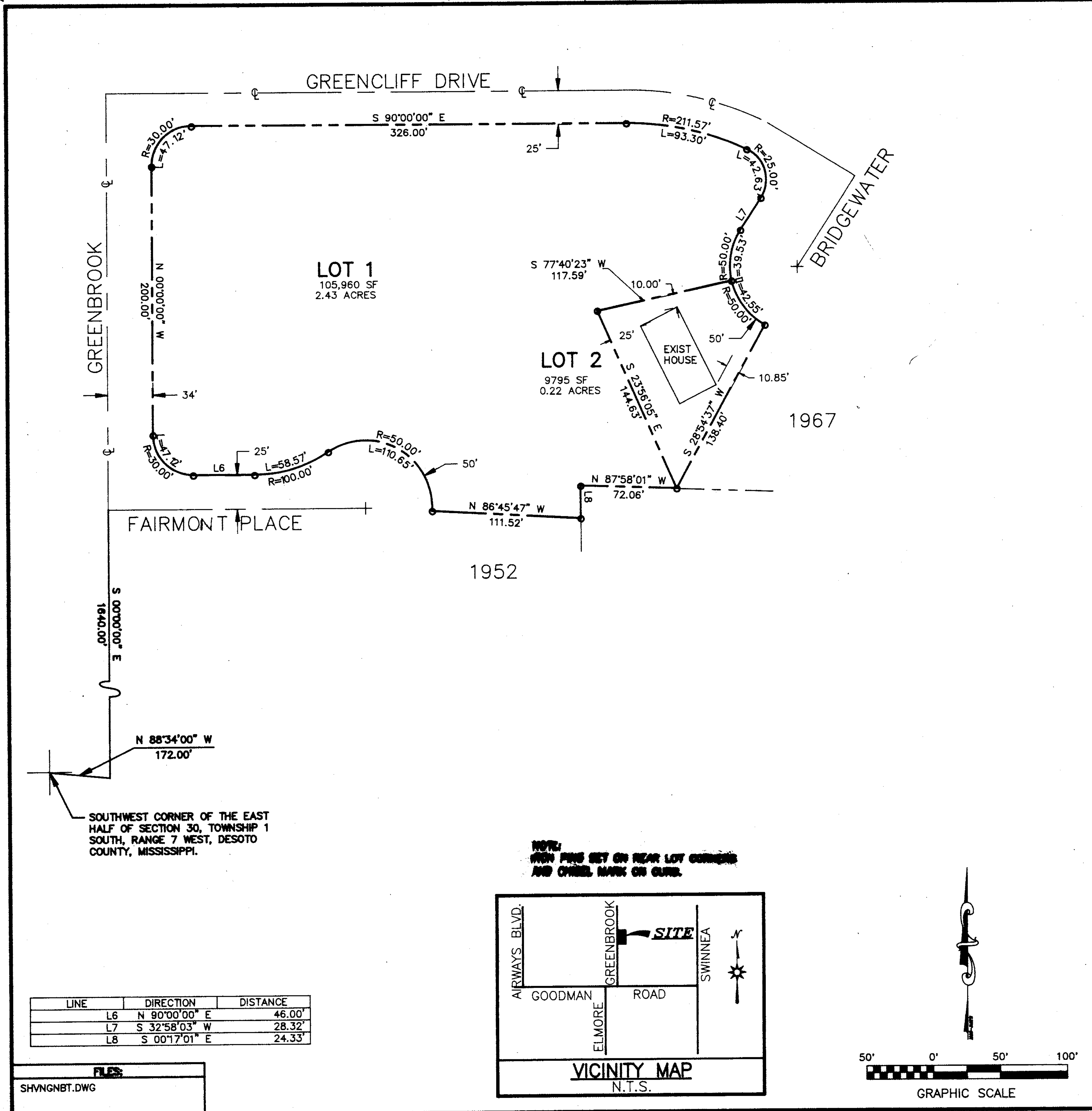
ArcGIS Web Map



6/3/2025, 4:18:42 PM

1:3,074





LINE	DIRECTION	DISTANCE
L6	N 90°00'00" E	46.00'
L7	S 32°58'03" W	28.32'
L8	S 00°17'01" E	24.33'

FILES:
SHVNGNBT.DWG

L.M. 01-07-94

OWNER'S CERTIFICATE
I, Raylene H. Cole, OWNER OR AUTHORIZED REPRESENTATIVE OF THE OWNER OF THE PROPERTY, HEREBY ADOPT THIS AS MY PLAN OF SUBDIVISION AND DEDICATE THE RIGHT-OF-WAY FOR THE ROADS AS SHOWN ON THE PLAT FOR THE PUBLIC USE FOREVER AND RESERVE FOR THE PUBLIC UTILITIES THE UTILITY EASEMENTS AS SHOWN ON THE PLAT. I CERTIFY THAT I AM THE OWNER IN FEE SIMPLE OF THE PROPERTY AND THAT NO TAXES HAVE BECOME DUE AND PAYABLE. THIS THE 27th DAY OF September, 1994.
SIGNATURE OF OWNER OR REPRESENTATIVE

NOTARIAL CERTIFICATE
STATE OF MISSISSIPPI, COUNTY OF DESOTO
PERSONALLY APPEARED BEFORE ME THE UNDERSIGNED AUTHORITY IN AND FOR THE SAID COUNTY AND STATE, ON THIS 27th DAY OF September, 1994, WITHIN MY JURISDICTION, THE WITHIN NAMED Raylene H. Cole WHO ACKNOWLEDGED THAT HE/SHE IS THE Authorized Representative OF SOUTHAVEN GENERAL BAPTIST CHURCH CORPORATION, AND THAT FOR AND ON BEHALF OF THE SAID CORPORATION, AND AS ITS ACT AND DEED HE/SHE EXECUTED THE ABOVE AND FOREGOING INSTRUMENT, AFTER FIRST HAVING BEEN DULY AUTHORIZED BY SAID CORPORATION SO TO ACT.
NOTARY PUBLIC
MY COMMISSION EXPIRES: 12/31/97

APPROVED BY THE SOUTHAVEN PLANNING COMMISSION ON THIS THE 27th DAY OF September, 1994
ATTEST: P. Z. King CHAIRMAN
SECRETARY

APPROVED BY THE SOUTHAVEN MAYOR AND BOARD OF ALDERMEN ON THIS THE 19th DAY OF October, 1994
Marlene Sprinkle CITY CLERK
John D. Shattuck MAYOR

STATE OF MISSISSIPPI
COUNTY OF DESOTO
I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON WAS FILED FOR RECORD IN MY OFFICE AT 10:22 O'CLOCK A.M. ON THE 10th DAY OF October, 1994 AND WAS IMMEDIATELY ENTERED UPON THE PROPER INDEXES AND DULY RECORDED IN PLAT BOOK 45, PAGE 210.
W. E. Thomas Chancery Clerk
CHANCERY CLERK

CERTIFICATE OF ENGINEER
THIS IS TO CERTIFY THAT I HAVE DRAWN THIS SUBDIVISION SHOWN HEREON AND THE PLAT OF SAME IS ACCURATELY DRAWN FROM FIELD AND BENCH SURVEY BY ME.
BEN W. SAUNDERS
REGISTERED PROFESSIONAL ENGINEER
STATE OF MISSISSIPPI
EXPIRES: 12/31/97

MORTGAGEE'S CERTIFICATE
First State National Bank MORTGAGEE OF THE PROPERTY HEREON, HEREBY ADOPT THIS AS OUR PLAN OF SUBDIVISION AND DEDICATE THE RIGHT-OF-WAY FOR THE ROADS AS SHOWN ON THE PLAT OF THE SUBDIVISION TO THE PUBLIC USE FOREVER AND RESERVE FOR THE PUBLIC UTILITIES THE UTILITY EASEMENTS AS SHOWN ON THE PLAT. I CERTIFY THAT I AM THE MORTGAGEE IN FEE SIMPLE OF THE PROPERTY AND THAT NO TAXES HAVE BECOME DUE AND PAYABLE. THIS THE 27th DAY OF September, 1994.
Raylene H. Cole
TITLE: Authorized Representative
SIGNATURE OF MORTGAGEE

NOTARY'S CERTIFICATE
STATE OF MISSISSIPPI, COUNTY OF DESOTO
PERSONALLY APPEARED BEFORE ME THE UNDERSIGNED AUTHORITY IN AND FOR THE SAID COUNTY AND STATE, ON THIS 27th DAY OF September, 1994, WITHIN MY JURISDICTION, THE WITHIN NAMED Raylene H. Cole WHO ACKNOWLEDGED THAT HE/SHE IS THE Authorized Representative OF SOUTHAVEN GENERAL BAPTIST CHURCH CORPORATION, AND THAT FOR AND ON BEHALF OF THE SAID CORPORATION, AND AS ITS ACT AND DEED HE/SHE EXECUTED THE ABOVE AND FOREGOING INSTRUMENT, AFTER FIRST HAVING BEEN DULY AUTHORIZED BY SAID CORPORATION SO TO ACT.
NOTARY PUBLIC
MY COMMISSION EXPIRES: 12/31/97

SOUTHAVEN GENERAL BAPTIST CHURCH
TWO LOT SUBDIVISION
SECTION 30, TOWNSHIP 1 S, RANGE 7 W.
SOUTHAVEN, MISSISSIPPI
2.657 ACRES, 2 LOTS, ZONED R-2

OWNER:
SOUTHAVEN GENERAL BAPTIST CHURCH

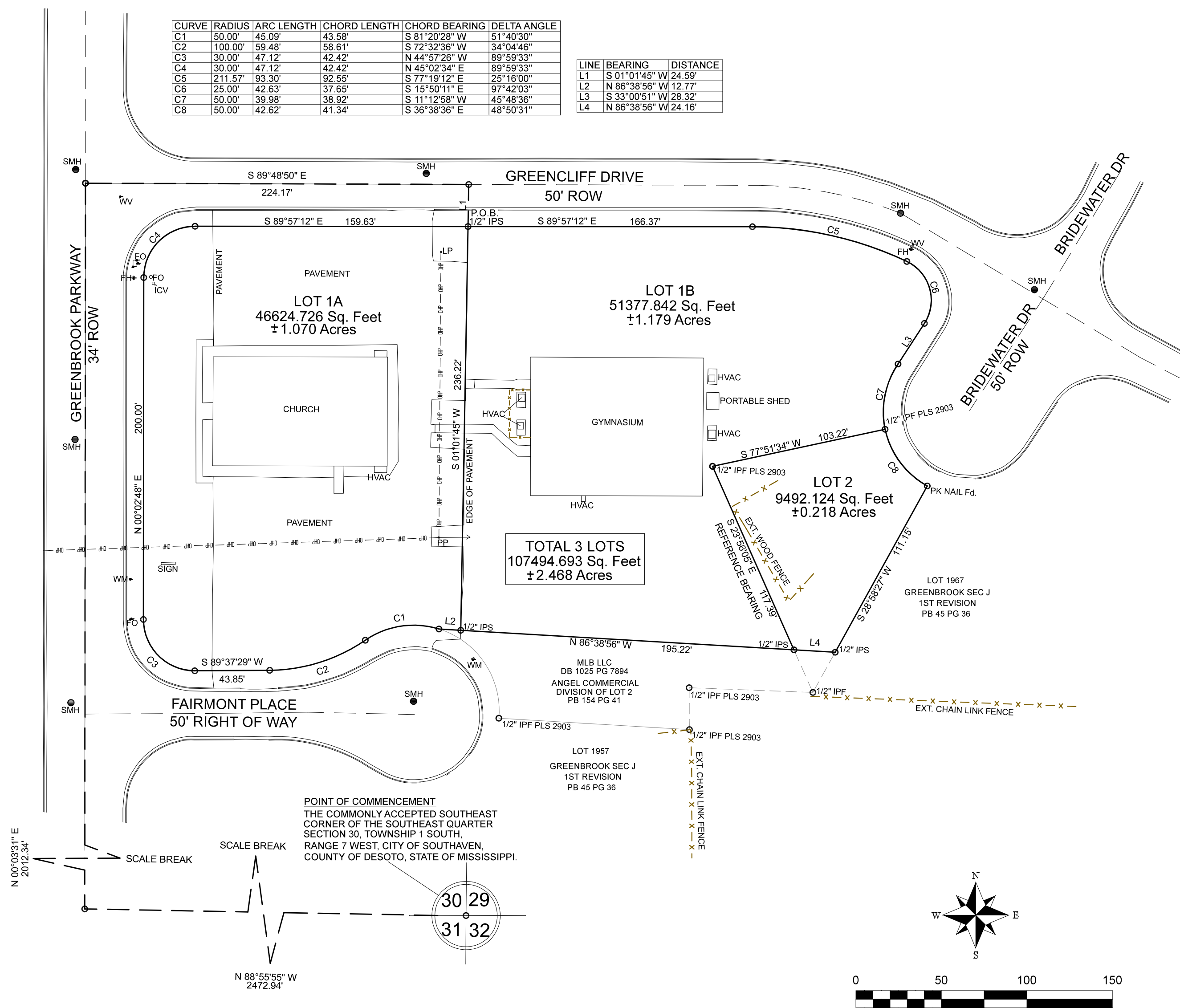
SES SMITH
ENGINEERING & SURVEYING
INCORPORATED

828 GOODMAN ROAD, SUITE 6
SOUTHAVEN, MISSISSIPPI 38671 FAX (601) 349-3348
(601) 349-3711

07 JANUARY 1994 SHEET 1 OF 1

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	50.00'	45.09'	43.58'	S 81°20'28" W	51°40'30"
C2	100.00'	59.48'	58.61'	S 72°32'36" W	34°04'46"
C3	30.00'	47.12'	42.42'	N 44°57'26" W	89°59'33"
C4	30.00'	47.12'	42.42'	N 45°02'34" E	89°59'33"
C5	211.57'	93.30'	92.55'	S 77°19'12" E	25°16'00"
C6	25.00'	42.63'	37.65'	S 15°50'11" E	97°42'03"
C7	50.00'	39.98'	38.92'	S 11°12'58" W	45°48'36"
C8	50.00'	42.62'	41.34'	S 36°38'36" E	48°50'31"

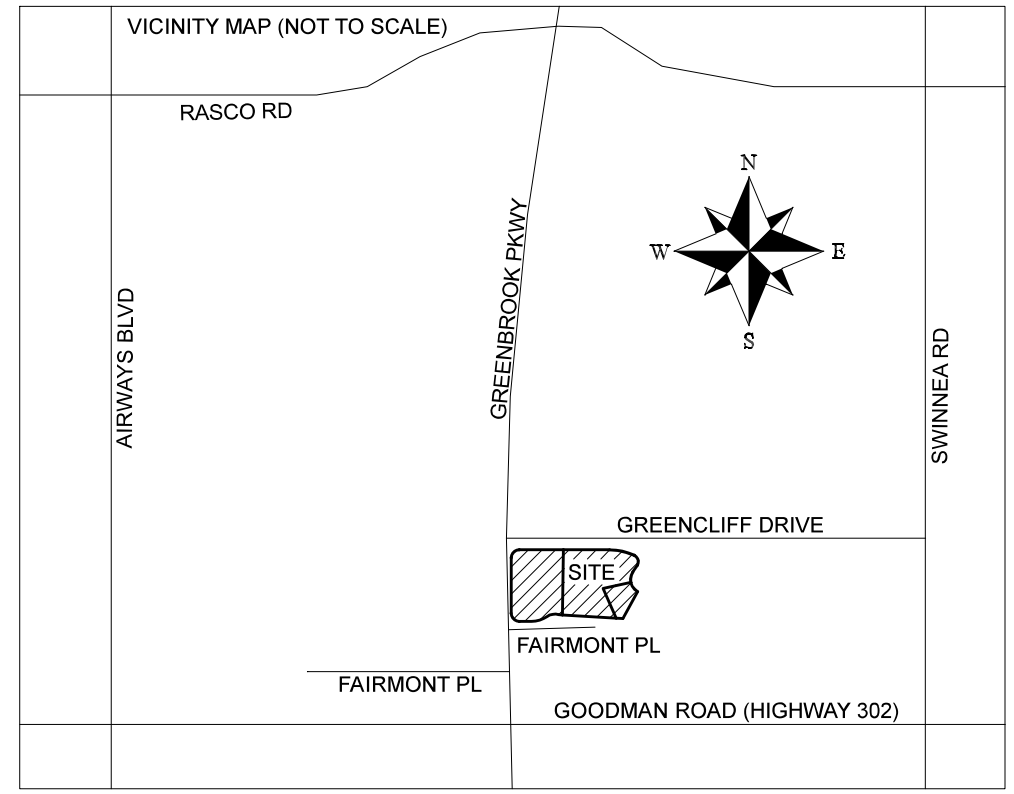
LINE	BEARING	DISTANCE
L1	S 01°01'45" W	24.59'
L2	N 86°38'56" W	12.77'
L3	S 33°00'51" W	28.32'
L4	N 86°38'56" W	24.16'



POINT OF COMMENCEMENT
THE COMMONLY ACCEPTED SOUTHEAST CORNER OF THE SOUTHEAST QUARTER SECTION 30, TOWNSHIP 1 SOUTH, RANGE 7 WEST, CITY OF SOUTHAVEN, COUNTY OF DESOTO, STATE OF MISSISSIPPI.

- NOTES:
- BEARINGS REFERENCED TO THE WEST LINE OF LOT 2. SOUTHAVEN GENERAL BAPTIST CHURCH TWO LOT SUBDIVISION AS RECORDED IN PLAT BOOK 45 PG. 36 IN THE OFFICE OF CHANCERY CLERK IN DESOTO COUNTY, MISSISSIPPI.
 - DATE OF SURVEY: 27 MAY 2025; THIS IS A CLASS "B" SURVEY.
 - THIS PROPERTY IS NOT LOCATED IN AN IDENTIFIED SPECIAL FLOOD HAZARD AREA ACCORDING TO FEMA MAP NO. 28033C0078H, DATED 05 MAY 2014.
 - 1/2" IRON PINS SET ON ALL FRONT AND REAR PROPERTY CORNERS; UNLESS OTHERWISE NOTED.
 - THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE SEARCH. ONLY THE DOCUMENTS SHOWN WERE USED IN THE PREPARATION OF THIS SURVEY. THOUGH OTHER DOCUMENTS MAY AFFECT THIS PROPERTY, THERE MAY BE OTHER DOCUMENTS THAT ARE UNKNOWN TO THIS SURVEYOR THAT AFFECT THIS PROPERTY.
- THIS IS TO CERTIFY THAT THIS PLAT WAS DRAWN FROM A GROUND SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION OF THE PHYSICAL FEATURES FOUND AND IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: ROBERT G. JONES MS PLS 2614



- LEGEND:
- IPF - 1/2" IRON PIN FOUND (REBAR)
 - IPS - 1/2" IRON PIN SET (REBAR)
 - R.O.W. - RIGHT OF WAY
 - DB - WARRANTY DEED BOOK
 - PB - PLAT BOOK
 - P.O.B. - POINT OF BEGINNING
 - PP - POWER POLE
 - LP - LIGHT POLE
 - SMH - SEWER MANHOLE
 - FH - FIRE HYDRANT
 - WV - WATER VALVE
 - FO - FIBER OPTICS
 - WM - WATER METER
 - ICV - IRRIGATION CONTROL VALVE
 - OP—OP— OVERHEAD ELECTRIC
 - x-x-x-x-x- FENCE

OWNER'S CERTIFICATE

I, _____ HEREBY ADOPT THIS AS MY PLAN OF SUBDIVISION AND DEDICATE THE RIGHTS-OF-WAY FOR THE USE OF ROADS AND UTILITY EASEMENTS AS SHOWN ON THE PLAT OF THE SUBDIVISION THE CITY OF SOUTHAVEN, MISSISSIPPI, FOR THE PUBLIC USE FOREVER. I CERTIFY THAT I, _____ IS THE OWNER IN FEE SIMPLE OF THE PROPERTY AND THAT NO TAXES HAVE BECOME DUE AND PAYABLE.

THIS THE ____ DAY OF _____, 2025.

SIGNATURE _____ TITLE _____

NOTARY'S CERTIFICATE

STATE OF MISSISSIPPI; COUNTY OF DESOTO
PERSONALLY APPEARED BEFORE ME THE UNDERSIGNED AUTHORITY
IN AND FOR SAID COUNTY AND STATE, ON THE ____ DAY OF _____, 2025, WITHIN MY JURISDICTION, THE WITHIN NAMED _____ WHO ACKNOWLEDGED THAT HE EXECUTED THE FOREGOING CERTIFICATE, FOR THE PURPOSE THEREIN MENTIONED AFTER HAVING BEEN AUTHORIZED TO DO SO.

NOTARY PUBLIC _____ MY COMMISSION EXPIRES _____

CITY OF SOUTHAVEN PLANNING COMMISSION
APPROVED BY THE CITY OF SOUTHAVEN PLANNING COMMISSION ON THIS THE ____ DAY OF _____, 20__.

ATTEST _____ SECRETARY _____ CHAIRPERSON _____

CITY OF SOUTHAVEN
MAYOR AND BOARD OF ALDERMEN
APPROVED BY THE MAYOR AND BOARD OF ALDERMEN ON THIS THE ____ DAY OF _____, 20__.

ATTEST _____ CITY CLERK _____ MAYOR _____

CHANCERY CLERK'S CERTIFICATE
STATE OF MISSISSIPPI, COUNTY OF DESOTO

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON WAS FILED FOR RECORD IN MY OFFICE AT ____ O'CLOCK ____ M., ON THE ____ DAY OF _____, 20__ AND WAS IMMEDIATELY ENTERED UPON THE PROPER INDEXES AND DULY RECORDED IN PLAT BOOK _____, PAGE _____.

CHANCERY CLERK _____

**FIRST REVISION TO LOT 1
SOUTHAVEN GENERAL BAPTIST
CHURCH TWO LOT SUBDIVISION
BEING 3 LOTS +/- 2.468 ACRES TOTAL
ZONED R-9
AS PER PLAT BOOK 45 PAGE 36 RECORDED IN THE
CHANCERY CLERK'S OFFICE DESOTO COUNTY, MS**

LOCATED IN THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER SECTION 30, TOWNSHIP 1 SOUTH, RANGE 7 WEST, CITY OF SOUTHAVEN, COUNTY OF DESOTO, STATE OF MISSISSIPPI

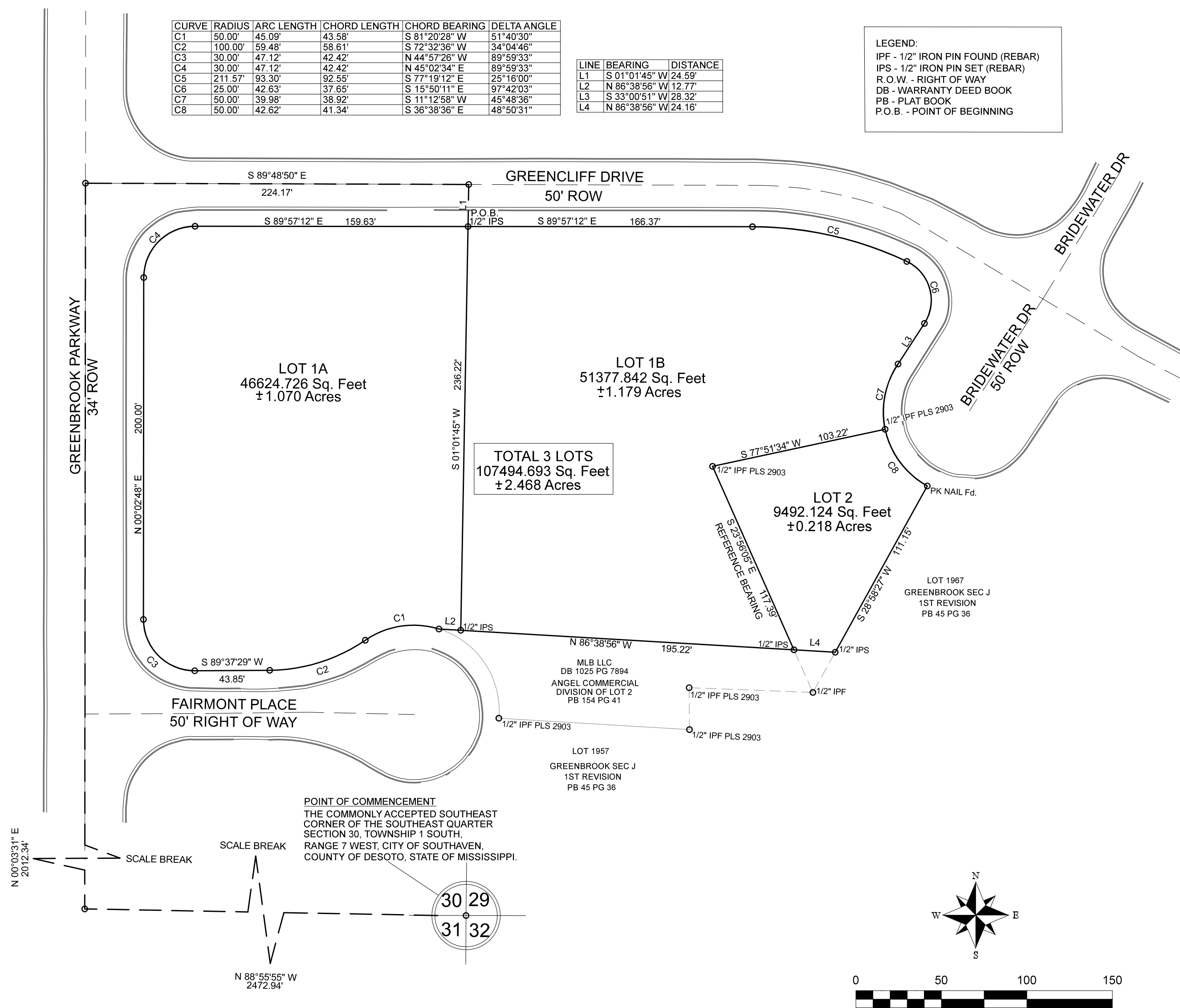


8849 CENTRE ST. SUITE 3 SOUTHAVEN, MS 38671 PHONE: (901) 734-2469

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
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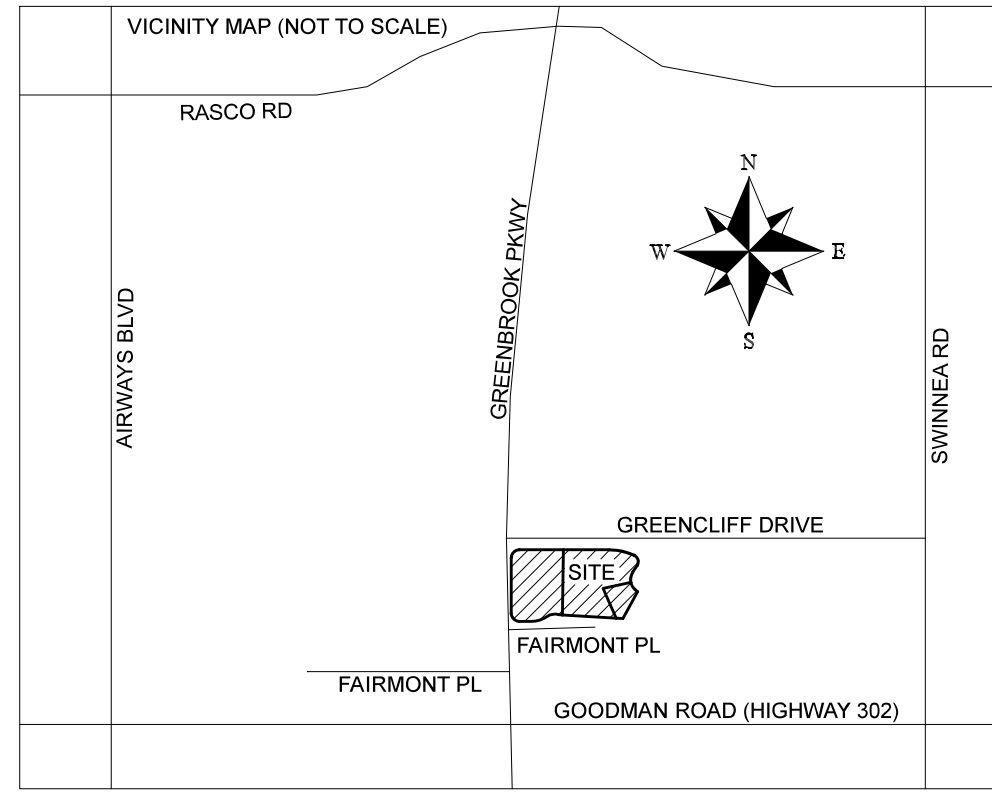
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NOTES:
 1. BEARINGS REFERENCED TO THE WEST LINE OF LOT 2, SOUTHAVEN GENERAL BAPTIST CHURCH TWO LOT SUBDIVISION AS RECORDED IN PLAT BOOK 45 PG. 36 IN THE OFFICE OF CHANCERY CLERK IN DESOTO COUNTY, MISSISSIPPI.
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BY: ROBERT G. JONES MS PLS 2614



OWNER'S CERTIFICATE

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THIS THE ____ DAY OF _____, 2025.

SIGNATURE _____ TITLE _____

NOTARY'S CERTIFICATE

STATE OF MISSISSIPPI; COUNTY OF DESOTO

PERSONALLY APPEARED BEFORE ME THE UNDERSIGNED AUTHORITY

IN AND FOR SAID COUNTY AND STATE, ON THE ____ DAY OF _____, 2025, WITHIN MY JURISDICTION, THE WITHIN NAMED _____ WHO ACKNOWLEDGED THAT HE EXECUTED THE FOREGOING CERTIFICATE, FOR THE PURPOSE THEREIN MENTIONED AFTER HAVING BEEN AUTHORIZED TO DO SO.

NOTARY PUBLIC _____ MY COMMISSION EXPIRES _____

CITY OF SOUTHAVEN PLANNING COMMISSION

APPROVED BY THE CITY OF SOUTHAVEN PLANNING COMMISSION ON THIS THE ____ DAY OF _____, 20__.

ATTEST _____ SECRETARY _____ CHAIRPERSON _____

CITY OF SOUTHAVEN
 MAYOR AND BOARD OF ALDERMEN

APPROVED BY THE MAYOR AND BOARD OF ALDERMEN ON THIS THE ____ DAY OF _____, 20__.

ATTEST _____ CITY CLERK _____ MAYOR _____

CHANCERY CLERK'S CERTIFICATE
 STATE OF MISSISSIPPI, COUNTY OF DESOTO

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON WAS FILED FOR RECORD IN MY OFFICE AT ____ O'CLOCK ____ M., ON THE ____ DAY OF _____, 20__ AND WAS IMMEDIATELY ENTERED UPON THE PROPER INDEXES AND DULY RECORDED IN PLAT BOOK _____, PAGE _____.

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LOCATED IN THE NORTHWEST QUARTER OF THE
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 SOUTH, RANGE 7 WEST, CITY OF SOUTHAVEN,
 COUNTY OF DESOTO, STATE OF MISSISSIPPI



8849 CENTRE ST. SUITE 3 SOUTHAVEN, MS 38671 PHONE: (901) 734-2469